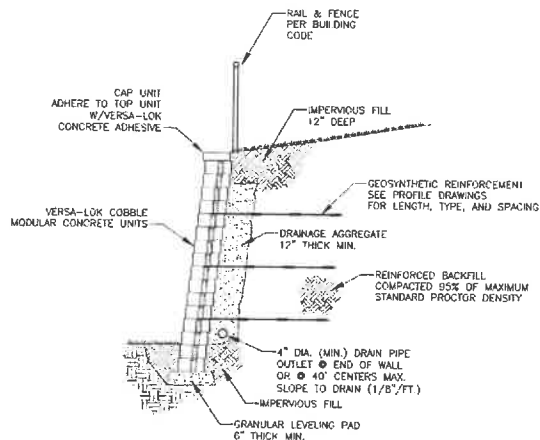
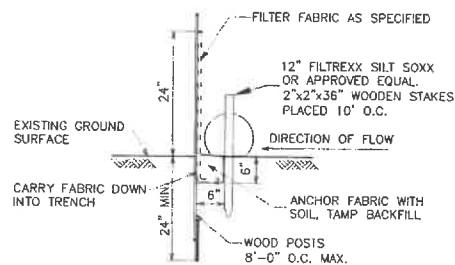
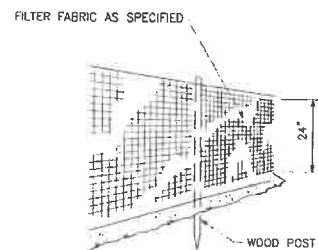


LEGEND OF ABBREVIATIONS & SYMBOLS

EXISTING 2-FOOT CONTOUR	102
BITUMINOUS BERM	CURB
RETAINING WALL	PT
EDGE OF PAVEMENT	EP
STOCKADE FENCE	
EDGE OF DISTURBED	
CATCH BASIN	
UTILITY POLE	
ELECT. HAND HOLE	
LIGHT POLE	
TW=99.7	TOP OF WALL &
BW=90.0	BOT. OF WALL ELEV.
EDGE OF BORDERING	
VEGETATED WETLAND	
100' WETLAND BUFFER ZONE	
EDGE OF WATER	

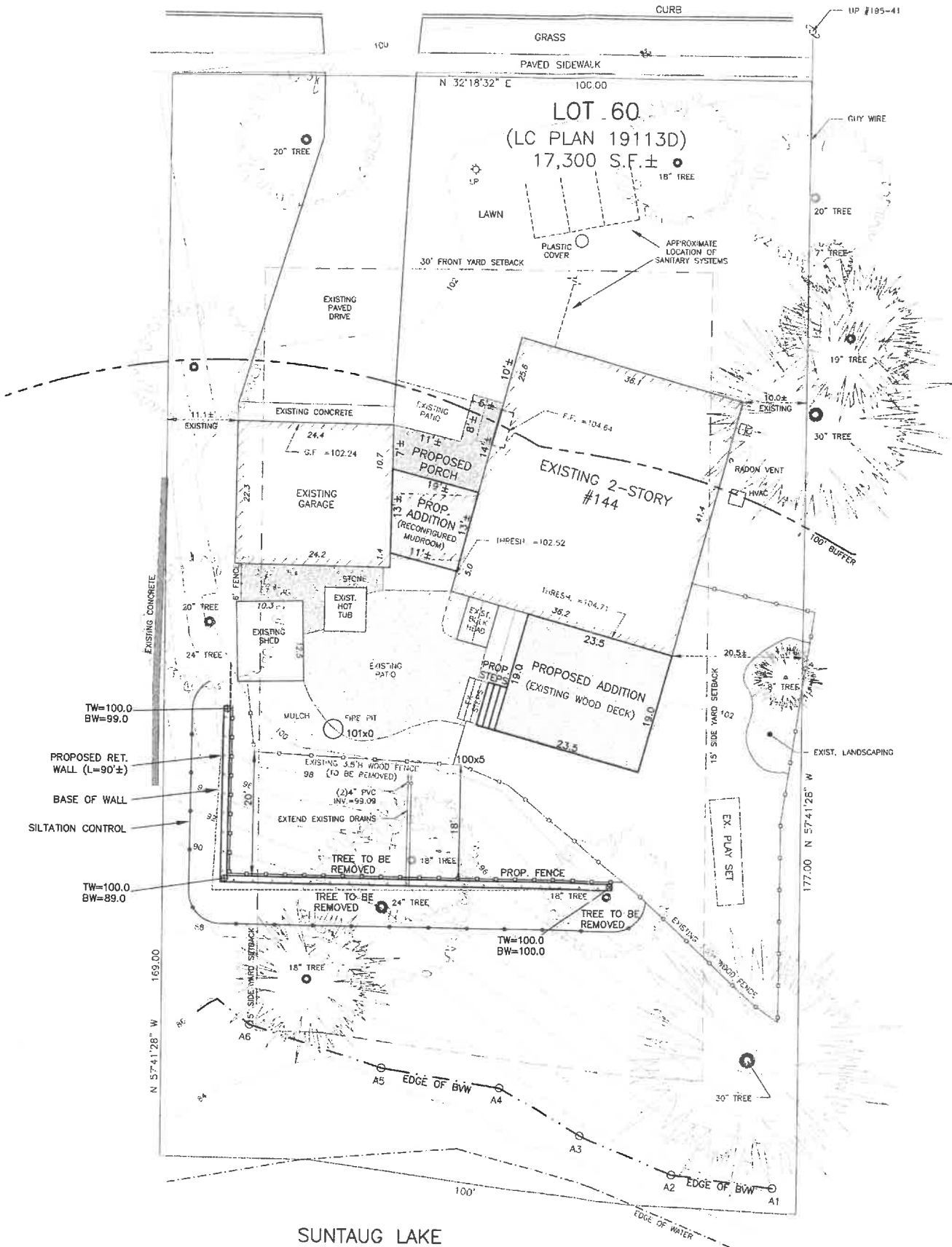


TYPICAL SECTION—REINFORCED RETAINING WALL  
(NOT TO SCALE)



SILTFENCE W/SILT  
"SOXX" DETAIL  
(NOT TO SCALE)

LOCKSLEY ROAD



ZONING DISTRICT: RA

MINIMUM LOT AREA = 15,000 S.F.  
 MINIMUM LOT FRONTAGE = 110 FEET  
 FRONT YARD SETBACK = 30 FEET (OR 50  
 FROM STREET CENTER LINE IF GREATER)  
 SIDE YARD SETBACK = 15 FEET  
 REAR YARD SETBACK = 20 FEET  
 LOT COVERAGE = 35%

PROJECT NOTES:

- EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC CONDUCTED IN JUNE 2021.
- THE EDGE OF BORDERING VEGETATED WERE DELINEATED AND LOCATED BY WILLIAMS & SPARAGES LLC IN JUNE 2021.
- ALL ELEVATIONS SHOWN ARE ASSUMED.
- THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC, FROM VARIOUS PLANS ON FILE WITH THE TOWN OF LYNNFIELD AND OTHER PLANS OF RECORD. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE.
- ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
- IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
- CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
- VERIFY ROOF DRAIN LOCATIONS WITH ARCHITECTURAL PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ADJUTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED SITE WORK.
- THE FOUNDATION PERIMETER DRAIN SHALL BE INSTALLED IN ACCORDANCE WITH 780 CMR 5405 (THE MASSACHUSETTS STATE BUILDING CODE).
- SEE ORDER OF CONDITIONS PRIOR TO SITE WORK.
- SANITARY SYSTEM SHOWN IS FROM MORTGAGE SURVEY PLOT PLAN PROVIDED BY THE TOWN OF LYNNFIELD BOH. LOCATION IS APPROXIMATE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- RETAINING WALL TO BE DESIGNED BY PROFESSIONAL ENGINEER AND TO MEET BUILDING CODE WITH FENCE/RAIL ON TOP.

PLAN TO ACCOMPANY A NOTICE OF INTENT  
 144 LOCKSLEY ROAD  
 LYNNFIELD, MA

DRAWING: NOI  
 SHEET 1 OF 1

SCALE: 1"=10'  
 FEBRUARY 1, 2023

NO.	DATE
4	
3	
2	
1	

Owner: Jennifer and Devin Abramowitz  
 144 Locksley Road  
 Lynnfield, MA 01940  
 Applicant: Same as owner

Designed By: JST  
 Drawn By: JST  
 Project Manager: JST  
 Project Number: LYNF-0136  
 Drawing File Folder: LYNF136

Drawing Issued for Review Only  
 Drawing Issued for Permit  
 Drawing Issued for Construction

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