

**ABBREVIATIONS:**

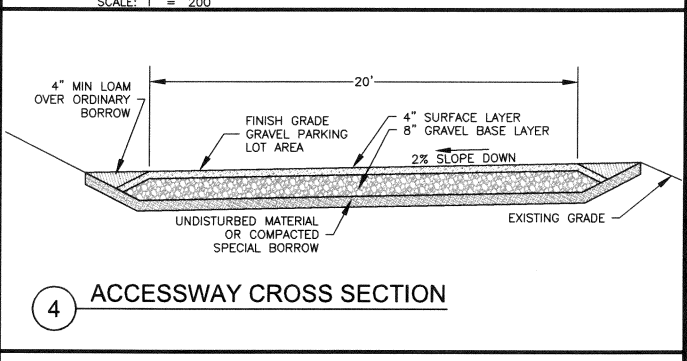
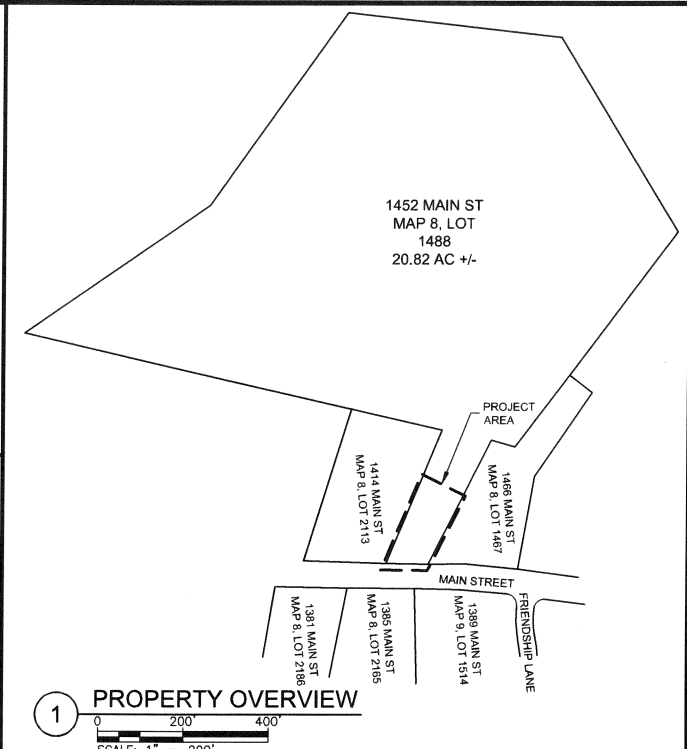
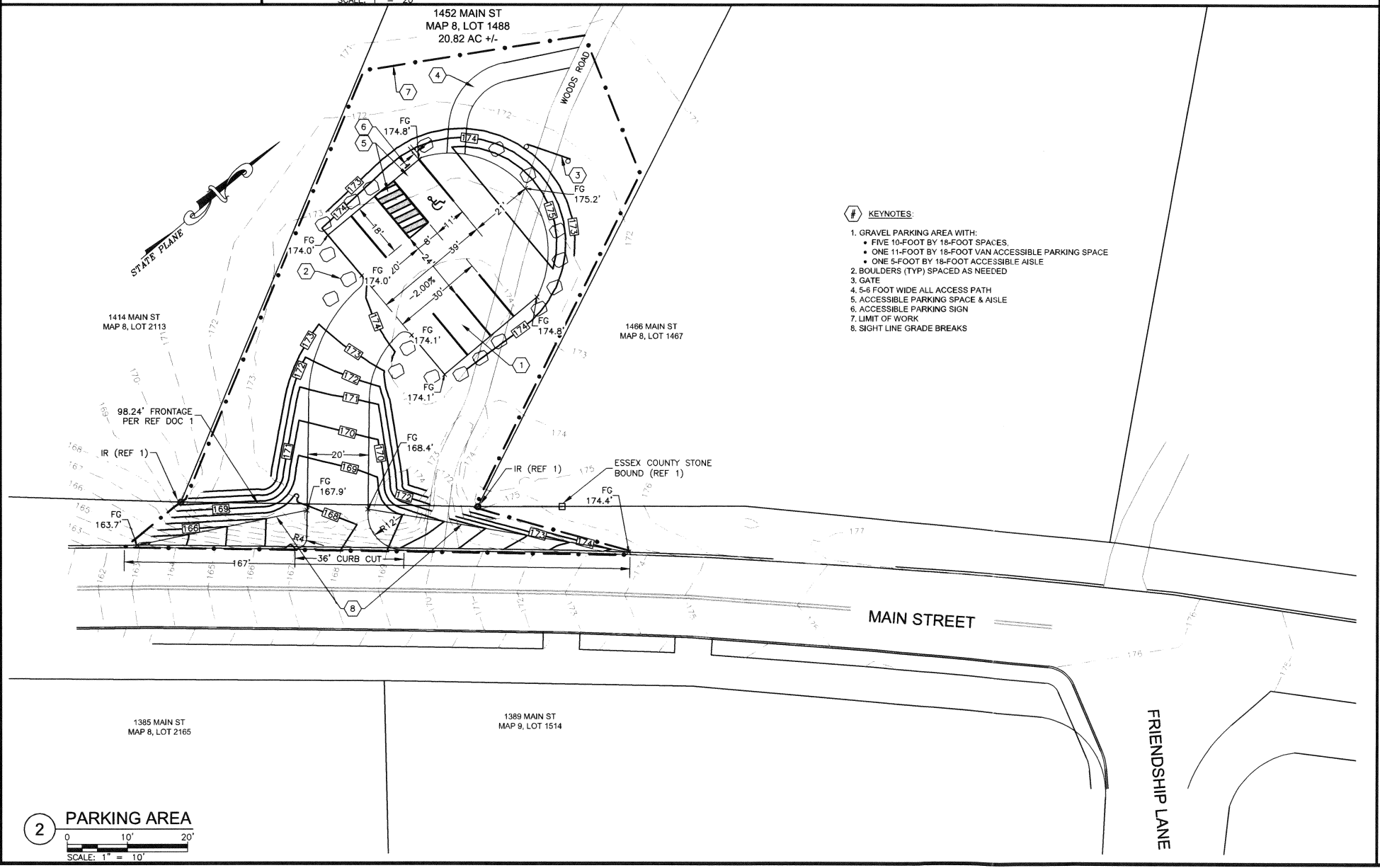
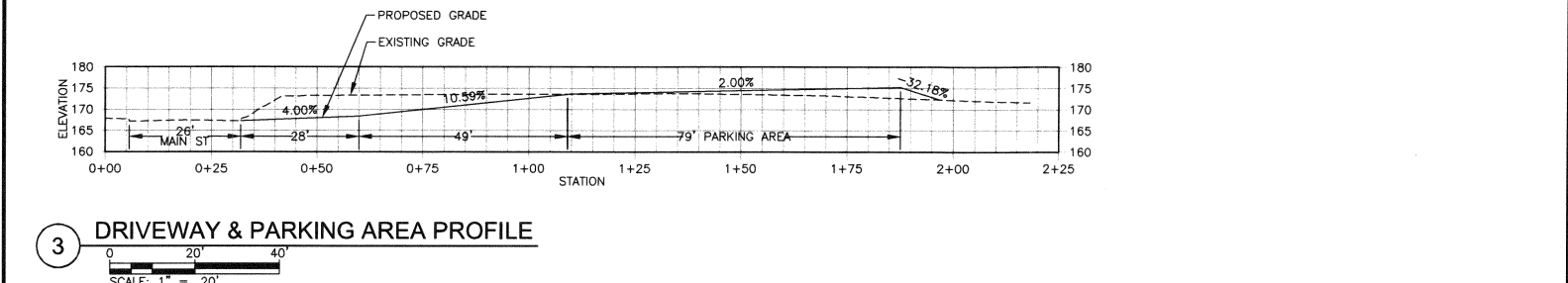
BFE	BASE FLOOD ELEVATION
BM	BENCHMARK
BOW	BOTTOM OF WALL
BVW	BORDERING VEGETATED WETLAND
CB	CATCH BASIN
CCO	CLEAN OUT
DEMO	DEMOLITION OR DEMOLISH
DIA	DIAMETER
DMH	STORM DRAIN MANHOLE
DPW	DEPARTMENT OF PUBLIC WORKS
DS	DOWNSPOUT
DW	DRY WELL
EG	EXISTING GRADE
EOP	EDGE OF PAVEMENT
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FIN	FINISH
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LS	LEVEL SPREADER
LSCSF	LAND SUBJECT TO COASTAL STORM FLOWAGE
MH	MANHOLE
MHW	MEAN HIGH WATER
NTS	NOT TO SCALE
OC	ON CENTER
PVC	POLYVINYL CHLORIDE
SCHED	SCHEDULE
SDR	STANDARD DIMENSION RATIO
SMH	SEWER MANHOLE
TBA	TO BE ABANDONED
TBM	TEMPORARY BENCHMARK
TBR	TO BE REMOVED
TD	TRENCH DRAIN
TOS	TOP OF STEP
TOW	TOP OF WALL
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB

- GENERAL NOTES:**
- DIG SAFE: CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, RULES, CODES, AND STANDARDS INCLUDING BUT NOT LIMITED TO DIG SAFE LAWS. CONTACT DIG SAFE AT: (1888) DIG SAFE (344-7233) AT LEAST THREE BUSINESS-DAYS PRIOR TO PERFORMING EXCAVATIONS ON PUBLIC OR PRIVATE PROPERTY INCLUDING DIGGING, BLASTING, HAMMERING POSTS INTO THE GROUND, GRADING, LANDSCAPING, AND DRILLING. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES IN THE WORK AREA.
  - EXISTING CONDITIONS ARE FROM MULTIPLE SOURCES INCLUDING AVAILABLE PUBLIC RECORDS AND PLANS PREPARED BY OTHERS. A SUBSURFACE SURVEY FOR UTILITIES HAS NOT BEEN CONDUCTED. THE LOCATIONS OF SUBSURFACE UTILITIES ARE APPROXIMATE AND ARE BASED ON LIMITED VISIBLE STRUCTURES AND FEATURES. IT IS EXPECTED THAT THERE MAY BE DISCREPANCIES AND OMISSIONS IN THE LOCATION AND QUANTITIES OF EXISTING SUBSURFACE UTILITIES AND STRUCTURES. THIS INFORMATION IS NOT GUARANTEED TO BE EITHER CORRECT OR COMPLETE AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED. PRIOR TO COMMENCING ANY WORK IN THIS AREA, CONTRACTOR SHALL PERFORM SUCH INVESTIGATIONS AS NECESSARY TO LOCATE ALL UTILITIES AND STRUCTURES IN PROXIMITY TO THE WORK AREA.
  - THE LOCATION OF EXISTING OR PROPOSED STRUCTURES, FEATURES, AND BOUNDARIES IN RELATION TO PROPERTY LINES ARE ESTIMATED. NO BOUNDARY SURVEY HAS BEEN PERFORMED.
  - ALL APPLICABLE LOCAL, STATE AND FEDERAL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
  - CONTRACTOR SHALL PROMPTLY NOTIFY ENGINEER IF SITE CONDITIONS DIFFERING FROM THOSE SHOWN HEREON ARE IDENTIFIED.
- EROSION & SEDIMENT CONTROL NOTES:**
- CONTRACTOR SHALL AT ALL TIMES PROTECT THE SITE WITH EROSION AND SEDIMENT CONTROLS AS NECESSARY TO CONTROL EROSION OF SOILS AND KEEP SEDIMENTS FROM WASHING BEYOND THE LIMIT OF WORK LINE.
  - CONTRACTOR SHALL TAKE CARE TO LIMIT THE DISTURBANCE OF EXISTING STABILIZED/VEGETATED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. DISTURBED AREAS SHALL BE STABILIZED WITH GROUND COVER VEGETATION, RIPRAP OR OTHER SUITABLE STABILIZATION MEASURES AS NECESSARY. EROSION CONTROL BLANKETS SHALL BE USED IN ALL AREAS STEEPER THAN 3:1.
  - ALL DISTURBED AREAS TO BE STABILIZED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.

- REFERENCE DOCUMENTS:**
- PLAN OF LAND IN LYNNFIELD, MA FOR RICHARDSON FARM INC. PREPARED BY CHRISTIANSEN ENGINEERING CO INC. DATED APRIL 14, 1983. RECORDED IN SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS PLAN BOOK 180, PLAN 62.
  - DEED DATED APRIL 22, 2022. RECORDED IN SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS BOOK 40904, PAGE 154.
  - CONSERVATION RESTRICTION EXECUTED MARCH 22, 2022. RECORDED IN SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS BOOK 40904, PAGE 325.
- DATUM: APPROXIMATE NAVD 1988
- GRAVEL ACCESSWAY & PARKING AREA NOTES:**
- PARKING AREA AND ACCESSWAY SHALL BE CONSTRUCTED WITH SURFACE AND BASE LAYERS SHOWN ON THE ACCESSWAY CROSS SECTION.
  - CLEARING AND GRUBBING: THE ENTIRE AREA WITHIN THE PROPOSED ACCESSWAY & PARKING AREA FOOTPRINT SHALL BE CLEARED OF ALL STUMPS, BRUSH, ROOTS, BOULDERS AND LIKE MATERIAL AND ALL TREES NOT INTENDED FOR PRESERVATION.
  - ALL SPECIFICATIONS FOR MASSDOT MATERIALS SHALL BE IN CONFORMANCE WITH THE MOST RECENT COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".
  - EXCAVATION AND SUBGRADE PREPARATION: ALL TOP MUCK AND OTHER UNSUITABLE SOILS SHALL BE REMOVED WITHIN THE PROPOSED PARKING AREA. FILL MATERIAL PLACED TO ACHIEVE REQUIRED SUBGRADE ELEVATIONS SHALL COMPLY WITH MASSDOT SECTION M1.02.0, SPECIAL BORROW. WITH NO STONES LARGER THAN 6 INCHES IN ITS GREATEST DIMENSION AND SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN COMPACTED DEPTH.
  - THE GRAVEL BASE LAYER MATERIAL SHALL COMPLY WITH MASSDOT M1.03.0, GRAVEL BORROW TYPE A OR B. OR M1.03.1, PROCESSED GRAVEL FOR SUBBASE AND SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN COMPACTED DEPTH EXCEPT THE TOP LAYER WHICH SHALL NOT EXCEED 4 INCHES IN COMPACTED DEPTH.
  - SURFACE LAYER MATERIAL SHALL BE PLACED ON GRAVEL BASE LAYER TO THE FINAL DEPTH SHOWN ON PLAN. SURFACE MATERIAL SHALL COMPLY WITH MASSDOT SECTION M2.01.7, DENSE GRADED CRUSHED STONE FOR SUB-BASE EXCEPT THAT THE PERCENTAGE BY WEIGHT PASSING THE NO. 200 SIEVE SHALL BE BETWEEN 6- AND 15-PERCENT.
  - PARKING SPACES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY. NO STRIPING IS PROPOSED.
  - MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2% AT THE ACCESSIBLE AISLE AND ACCESSIBLE PARKING SPACE.

**LEGEND**

---	294	CONTOURS EX
---	292	CONTOURS PROP
---	---	LIMIT OF WORK/CLEARING



- KEYNOTES:**
- GRAVEL PARKING AREA WITH:
    - FIVE 10-FOOT BY 18-FOOT SPACES
    - ONE 11-FOOT BY 18-FOOT VAN ACCESSIBLE PARKING SPACE
    - ONE 5-FOOT BY 18-FOOT ACCESSIBLE AISLE
  - BOULDERS (TYP) SPACED AS NEEDED
  - GATE
  - 5-6 FOOT WIDE ALL ACCESS PATH
  - ACCESSIBLE PARKING SPACE & AISLE
  - ACCESSIBLE PARKING SIGN
  - LIMIT OF WORK
  - SIGHT LINE GRADE BREAKS

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**DRAFT**

NO.	DESCRIPTION	DATE

DATE: 4/18/2023

PREPARED FOR:  
ESSEX COUNTY GREENBELT ASSOCIATION, INC.  
82 EASTERN AVE  
ESSEX, MA 01929

PROJECT:  
**PARKING AREA & VISITOR ACCESS, LYNNFIELD WOODS**  
TAX MAP 8, LOT 1488  
1452 MAIN ST  
LYNNFIELD, MA

OWNED BY:  
ESSEX COUNTY GREENBELT ASSOCIATION, INC.

SHEET TITLE:  
**LAYOUT & GRADING PLAN**

**C1**  
SHEET 1 OF 1