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TOWN CLERKS OFFICE  
LYNNFIELD, MA

Petition  
TOWN OF LYNNFIELD  
ZONING BOARD OF APPEALS

Name of Petitioner Joseph Covino

Address 6 Alexandra Rd

Address of Property which is the subject of the  
Petition 6 Alexandra Rd

1. Indicate and describe relief being sought by this petition:  
(check appropriate box)

Date

A. Appeal Decision made by \_\_\_\_\_  
Bldg. Inspector, Planning Board, etc.

B. Apply for a Variance  
\_\_\_\_\_  
\_\_\_\_\_

X C. Apply for a Special Permit  
To construct an addition (approx. 800 sq ft in footprint) to existing structure that will be approximately  
43.4 linear feet at its shortest distance to the water's edge of an unnamed creek that runs mostly parallel  
and away from the proposed structure, and a minimum of 66.2 feet from the easterly (left side) property  
line.

D. Other (specify)  
\_\_\_\_\_  
\_\_\_\_\_

2. Specify Zoning Bylaw Sections(s) from which you desire relief:  
Ch 260 S 9.2

Relief cannot be granted at this hearing for any condition or bylaw not stated above

3. With respect to Land under consideration:

A. Its Area 30,925 Square feet, street frontage 196.15 feet

B. District Zone Residential "B"

C. Deed Record: Registry of Deeds, (South)  
Essex, Book 41432 Page 279  
Map 45 Parcel 2777

4. Ownership

A. Name, Address of Owner(s)  
6 Alexandra Road Realty Trust, 6 Alexandra Rd Lynnfield MA 01940

B. If applicant is not owner, check the interest in the premises, and attach evidence of such interest.

Prospective Buyer: N/A

Lessee: N/A

Other (explain) N/A

5. The undersigned petitioner affirms the foregoing statements are true statements of fact:

Signed [Signature] [Signature]  
Street and Number: 6 Alexandra Rd  
Town/City: Lynnfield State: MA Phone No. 617-538-3434  
Assessors Clerk \_\_\_\_\_ Date \_\_\_\_\_

6. A check payable to the Town of Lynnfield shall be delivered to the Board of Appeals, Town Hall, Lynnfield, MA 01940 for the proper amount indicated in the above fee schedule.

7. The Application and fee shall be submitted to the Town Clerk at least four (4) weeks prior to date of the hearing.

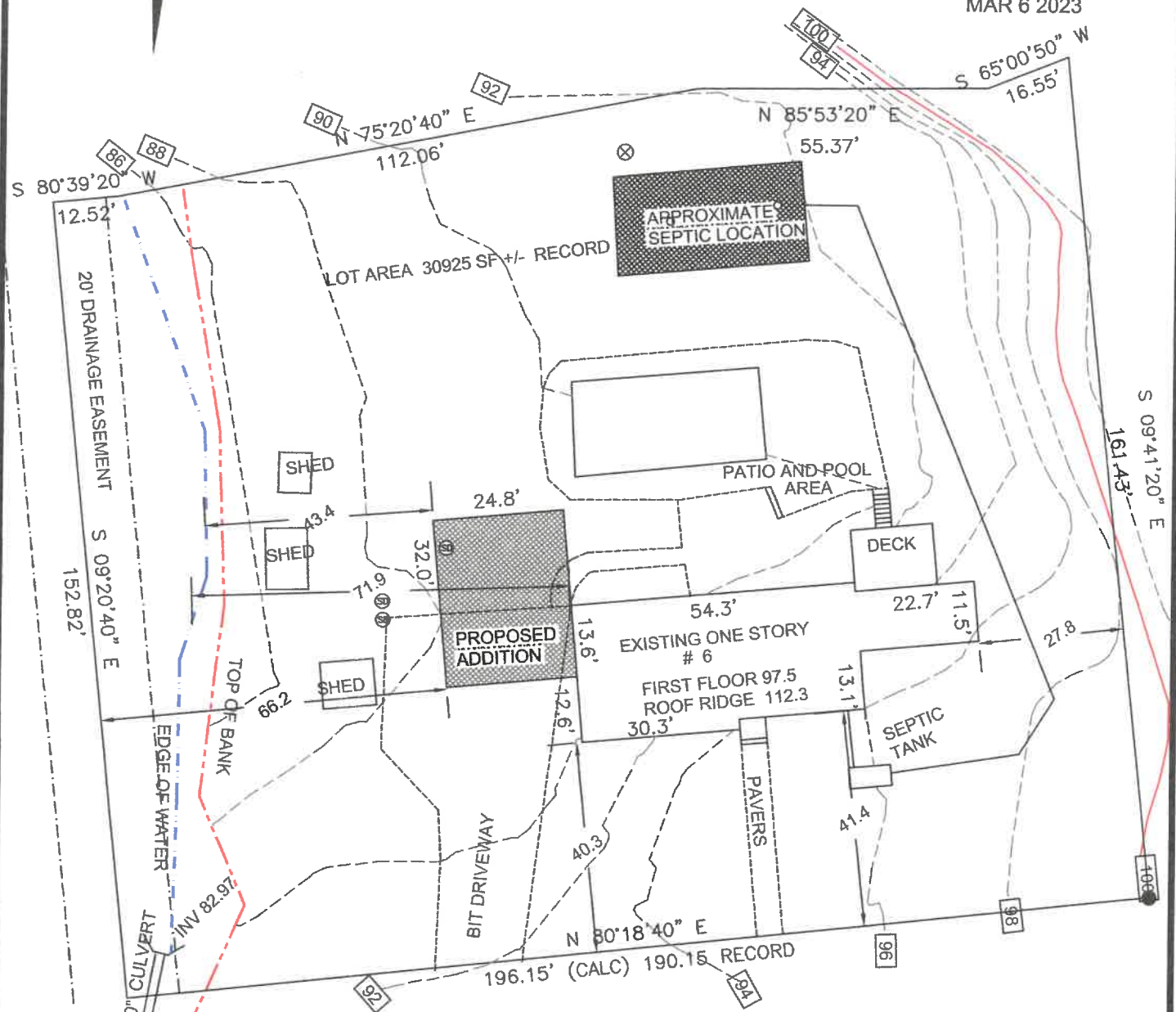
8. Public Hearings are normally scheduled for the 1<sup>st</sup> Tuesday of each month

**Petitioner not to write below**

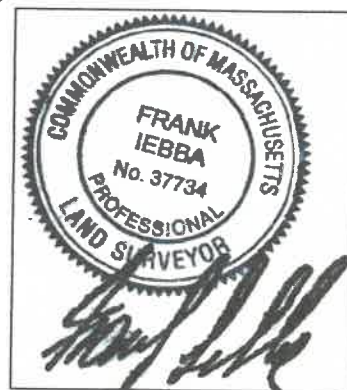
.....  
Petition reviewed by Building Inspector for completeness \_\_\_\_\_  
Received and Stamped by Town Clerk \_\_\_\_\_  
Entered with the Board of Appeal \_\_\_\_\_  
Fees actually paid \$ \_\_\_\_\_  
Advertised in \_\_\_\_\_  
Parties of interest mailed notices \_\_\_\_\_  
Hearing Date \_\_\_\_\_

PROPOSED ADDITION  
6 ALEXANDRA ROAD  
LYNN FIELD, MA  
SCALE: 1 IN = 30 FT

FEB 14, 2023  
MAR 6 2023



ALEXANDRA ROAD



ESSEX ENG. & SURVEY  
PO BOX 650217  
WEST NEWTON, MA. 02465

617-797-7342

FRANK.IEBBA@GMAIL.COM

**Design Loads**

- The building shall conform to the Massachusetts State Building Code 9th Edition, and to resist the following loads:  
 Wind: - Vult 90 miles/hr, (zone 3, exposure B)  
 Ground Snow: P=50 psf  
 Flat roof Snow: P=45 psf  
 Seismic Design Category B, S<sub>w</sub>=0.201, S<sub>s</sub>=0.067  
 Live load: Living areas =40 psf, sleeping areas = 30Psf

**DECK NOTES**

- Deck/Landing Ledger anchored to building with min 1/2" lag bolts
- min of two tie down device min 1/2" lag bolts
- Deck/Landing guard rail height min 3'

**Window Schedule**

Manufacturer	TAG	ROUGH OPENING	JMT SIZE	U factor	
Andersen	DH 3045	3'-0" x 4'-0"	35.5" x 35.5"	0.3	
Andersen	DH 3040	3'-0" x 4'-0"	35.5" x 47.5"	0.3	BATHROOM WINDOW THERMO GLASS

**LVL BEAM SPECIFICATIONS**

- MODULUS OF ELASTICITY = 2,000,000 PSI
- SHEAR MODULUS OF ELASTICITY = 125,000 PSI
- FLEXURAL STRESS = 2,900 PSI
- HORIZONTAL SHEAR = 285 PSI
- COMPRESSION PERPENDICULAR TO GRAIN = 845 PSI
- COMPRESSION PARALLEL TO GRAIN = 2,600 PSI
- EQUIVALENT SPECIFIC GRAVITY SG = 0.50

**DRAWING NOTES:**

- Provide hurricane hangers for roof rafters
- R=... Indicates Hanger Rotation.
- indicates flush framing, Hangers Required.
- indicates structural members continuous over a bearing wall with a header

**Wood Design/Details**

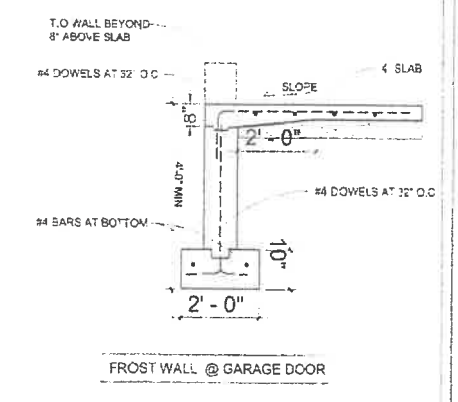
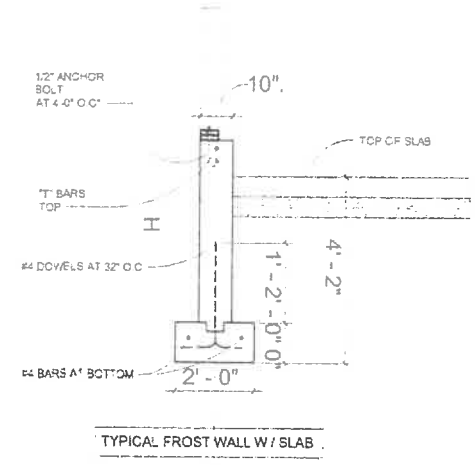
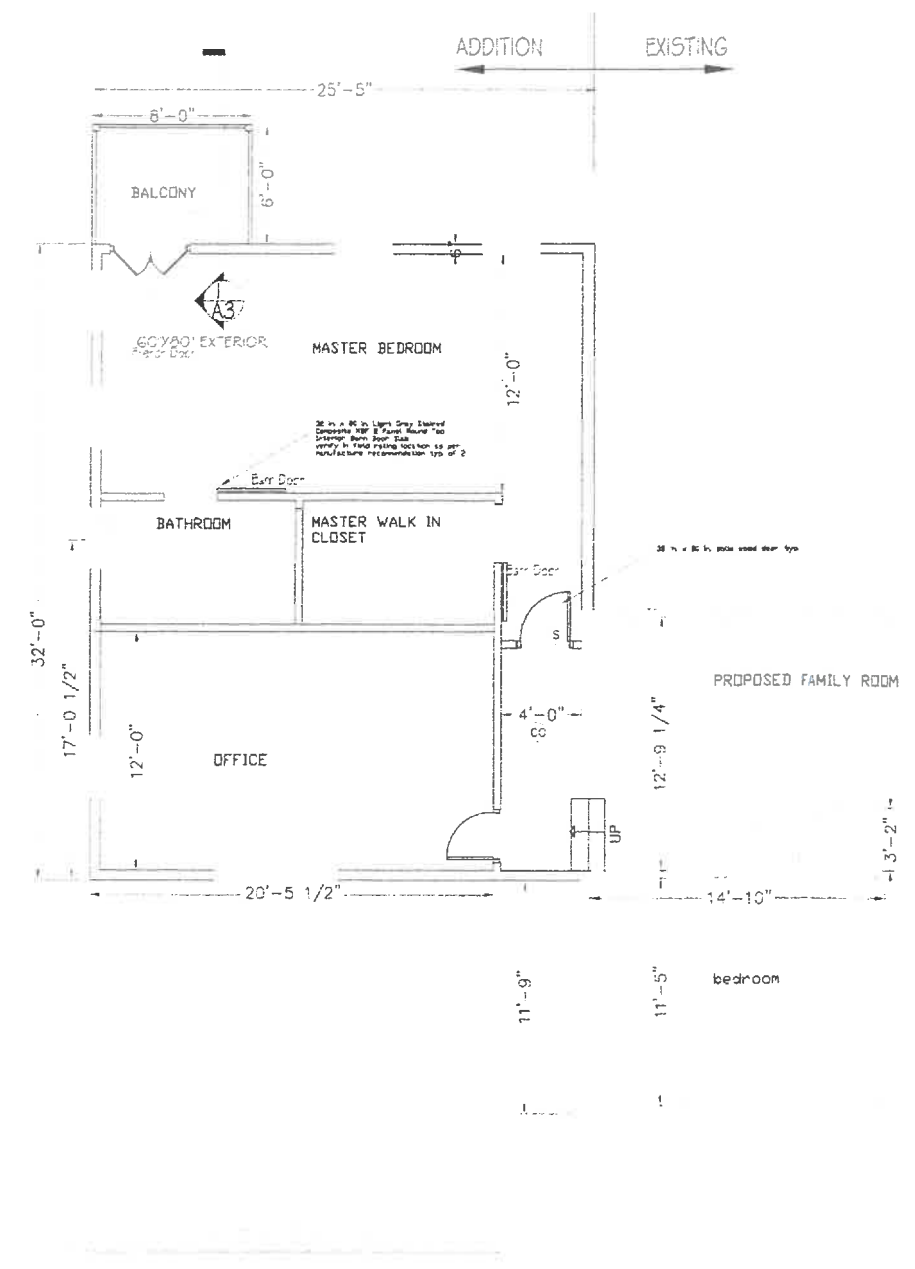
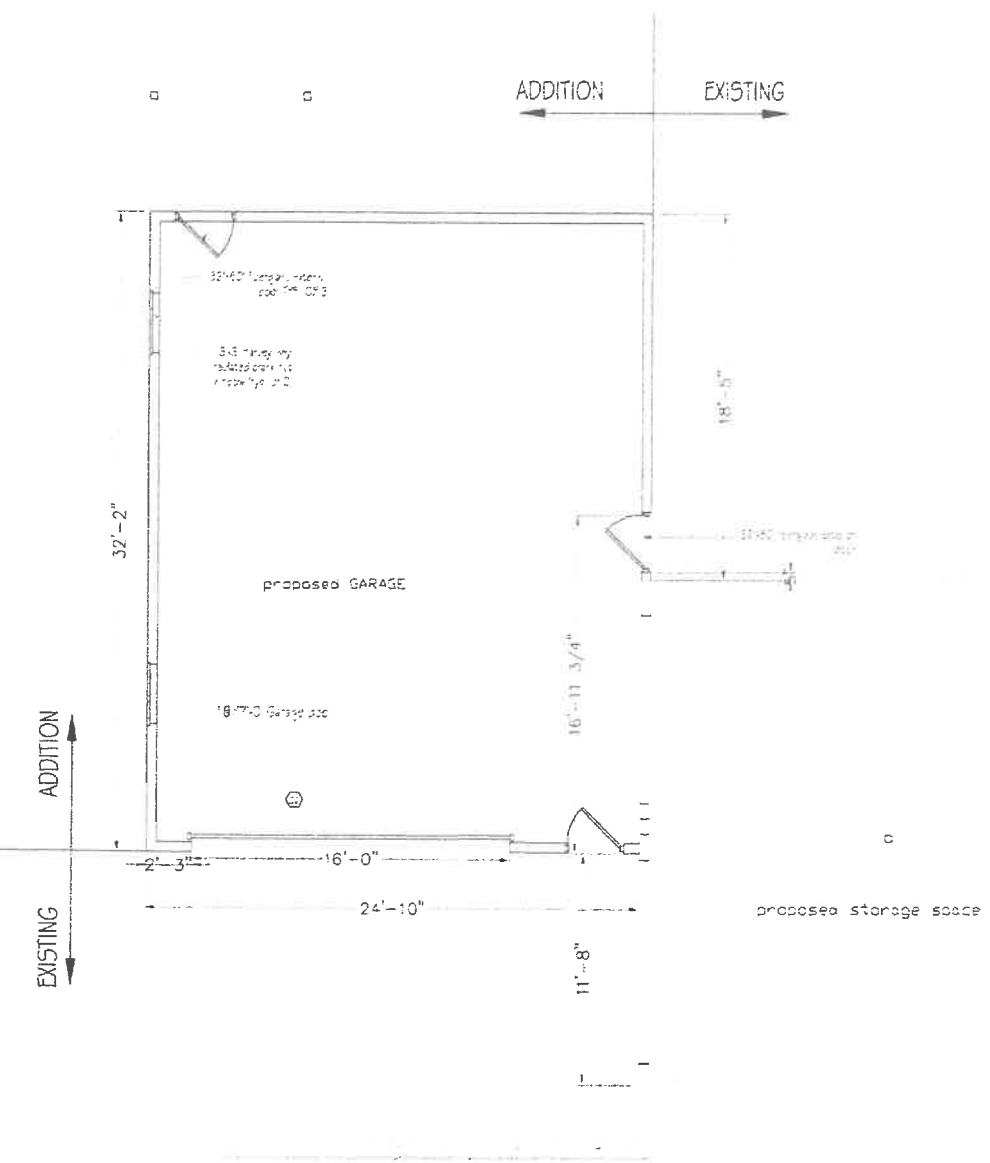
- All lumber used shall conform to the following specification:  
 a. All other SAWN lumber shall be Spruce-Pine-Fir as follows:  
 1. Studs - No.1 / No.2 or better  
 2. Joists & Girders - No.1 / No.2 or better  
 3. Beams & Girders - No.1 or better
- All hangers, caps, and straps shall be by the contractor based on the design loads shown on the design drawing.
- All exterior walls shall be 2x6's (JNO) @ 16" OC and shall be sheathed with 1/2" APA exterior grade, exposure 1 plywood. Nailing Pattern: 6d nails @ 6" at edges and 8" at the interior (in field), unless otherwise noted. W/tyvek paper and vinyl siding. The wall cavity shall have 5 1/2" batt insulation, covered w/1/2" drywall coated in plaster.
- All floor sheathing shall be 3/4" Advantech® T&G glued and nailed to floor members
- All roof sheathing shall be 5/8" APA Exposure 1 plywood or with plywood edge clips. With asphalt shingles on 15# felt paper.
- All wood in contact with concrete shall be pressure treated.
- At all interior load bearing walls and all non-load bearing walls over 8' in height, provide one row of wood blocking at mid-height of studs.
- All headers shall be -2x10's with double jack studs OTHERWISE NOTED

**Foundations**

- Foundations shall be on compacted granular fill or natural undisturbed soils having a minimum bearing capacity of 2 tons per square foot.
- All exterior foundations shall be a minimum of 4'-0" below finished grade, to provide adequate frost protection to footings.  
 3/4" min with 2' x 10" in-concrete footing as per A2322-403.1(1) general
- All structural concrete shall be normal weight, stone aggregate concrete, and shall be proportioned:  
 a. Concrete Footwork exposed to weather 4000 psi (5% air entrained)  
 b. Exterior walls, footings, piers and slabs exposed to weather 3500 psi (5% air entrained)  
 c. All other concrete: 3500 psi
- Reinforcing bars including straps shall conform to ASTM A615 with 60,000 psi yield strength with minimum anchorage and splice requirements for reinforcing in accordance with ACI 318, select edition. Welded wire fabric shall conform to ASTM A185
- Slabs on grade shall be placed in strips in accordance with the latest ACI recommendations. Slabs shall be placed on graded granular material compacted to 95% of maximum dry density. Slabs shall be 4" thick min & reinforced w/1/4" @ 12" x 2' @ 2.5 and 6 mil polyethylene vapor barrier.
- No footing shall be placed on water, frozen ground or unstable material.

**Legend**

- Smoke Detector S
- Smoke & carbon Detector CD
- TO BE REMOVED - - - - -
- existing - - - - -
- NEW - - - - -



Title: **PROPOSED PLANS**  
 DETAILS  
 Divdarson Design/Build  
 Foxboro, Ma  
 617 291 2208  
 By: \_\_\_\_\_  
 Date: 01.05.2023  
 Description: \_\_\_\_\_  
 Rev: \_\_\_\_\_  
 PROPOSED renovation  
 LYNNFIELD, MA  
**A-1**

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