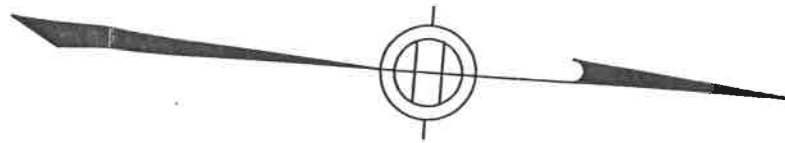




N/F  
 ROBERT & JOANNE MCCORMACK  
 18 PINE HILL ROAD  
 MAP 20 PARCEL 567



PROPOSED SUBSURFACE  
 ROOF DRAIN INFILTRATION  
 SYSTEM (43cf STORAGE)  
 CONNECT ADDITION ROOF  
 AREA (812sf±) TO  
 INFILTRATION SYSTEM  
 $812\text{sf} \times 0.6''/12 =$   
 $40.6\text{cf MIN. REQ'D}$   
 STATIC STORAGE  
 43cf PROVIDED

PROPOSED 55lf OF STONE  
 INFILTRATION TRENCH  
 (88cf STORAGE)  
 GRADE DRIVEWAY AREA  
 (1,722sf±) TO DRAIN TO  
 INFILTRATION TRENCH  
 $1,722\text{sf} \times 0.6''/12 =$   
 $86.1\text{cf MIN. REQ'D}$   
 STATIC STORAGE  
 88cf PROVIDED

N/F  
 ADAM & SONDRIA BERMAN  
 1 PAGOS WAY  
 MAP 20 PARCEL 596

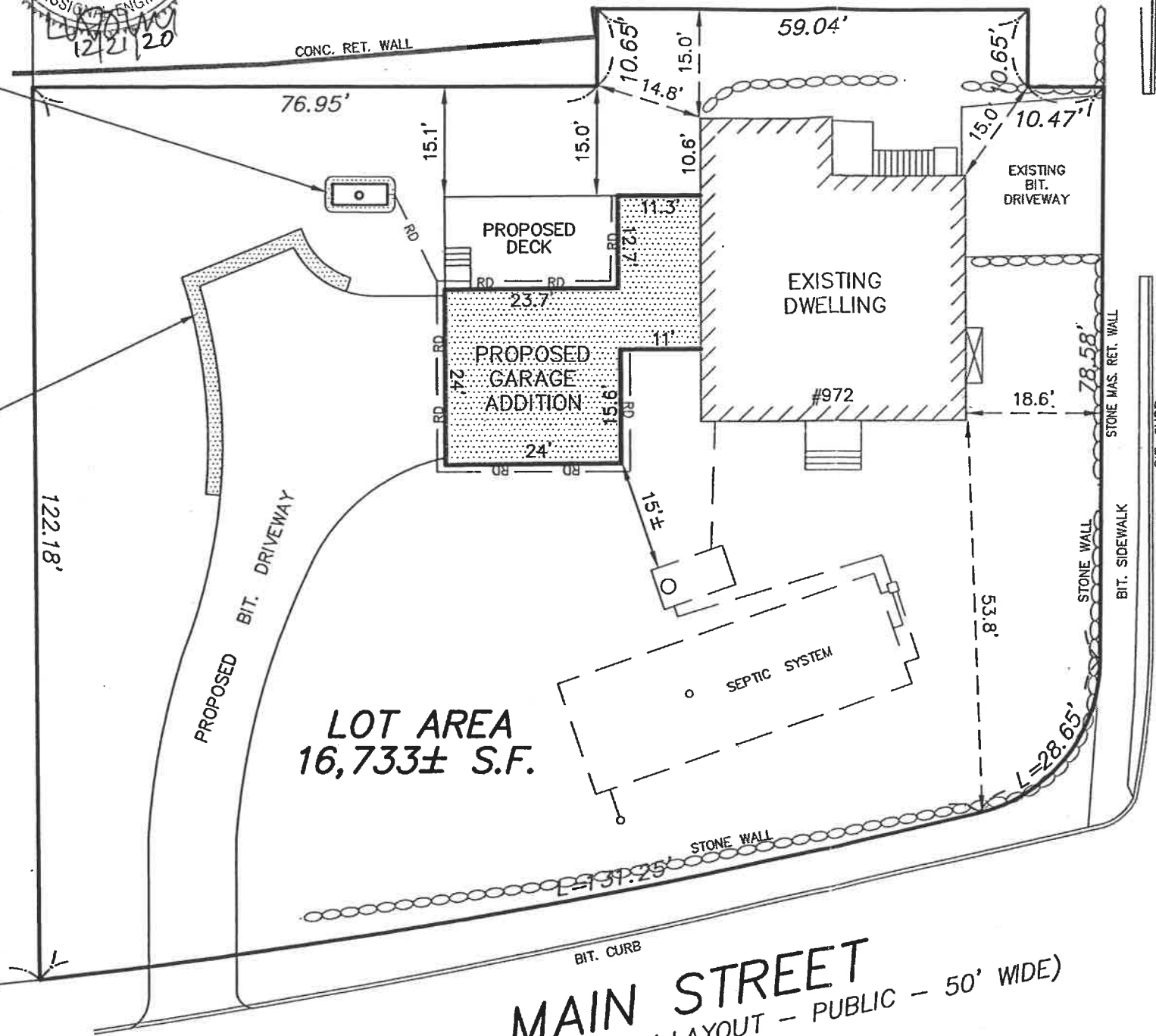


SBDH  
 (FND)

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL  
 INSTRUMENT SURVEY MADE ON THE GROUND IN JANUARY  
 2020 AND THAT THE STRUCTURE DEPICTED HEREON IS  
 LOCATED AS SHOWN.

12-21-20  
 DATE

*Scott M. Cerrato*  
 SIGNATURE

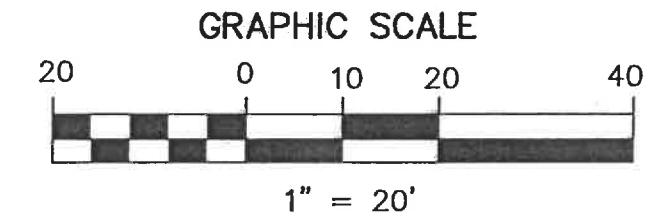


| GROUNDWATER PROTECTION DISTRICT<br>IMPERVIOUS COVERAGE CALCULATION |                           |                           |
|--|---------------------------|---------------------------|
| IMPERVIOUS SURFACE   | TOTAL AREA                | 'NOT-RECHARGED' AREA      |
| EXIST. HOUSE INCL. FRONT STPS, CHIM.                               | 1,437 S.F.                | 1,437 S.F.                |
| EXIST. BIT. DRIVEWAY, CONC. PAD                                    | 420 S.F.                  | 420 S.F.                  |
| PROPOSED ADDITION  | 812 S.F.                  | -                         |
| PROPOSED BIT. DRIVEWAY   | 1,722 S.F.                | -                         |
| <b>TOTAL</b>   | <b>4,391 S.F. (26.2%)</b> | <b>1,857 S.F. (11.1%)</b> |

**ZONING SETBACKS: RA**  
 FRONT YARD 30'  
 SIDE YARD 15'  
 REAR YARD 20'

**RECORD OWNER:**  
 BRAD DEMONT  
 BOOK 38018 PAGE 549

**PLAN REFERENCE:**  
 LOT A ON PLAN  
 AT BOOK 5177, PAGE 1



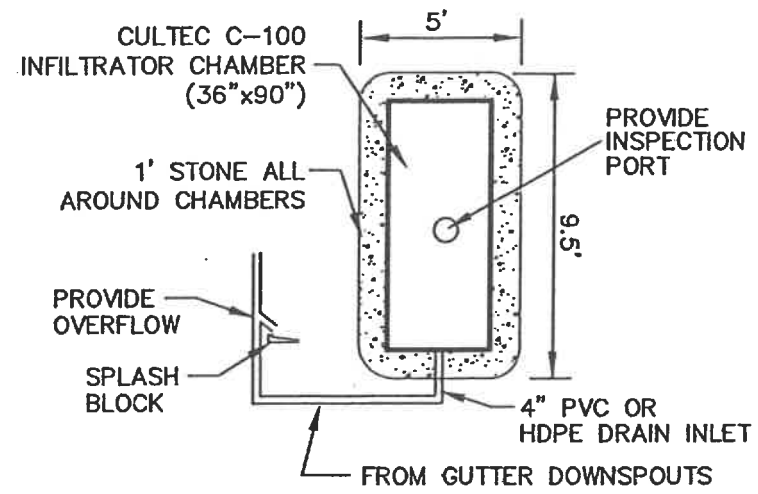
PINE HILL ROAD  
 (PUBLIC - 40' WIDE)

MAIN STREET  
 (1929 ESSEX COUNTY LAYOUT - PUBLIC - 50' WIDE)

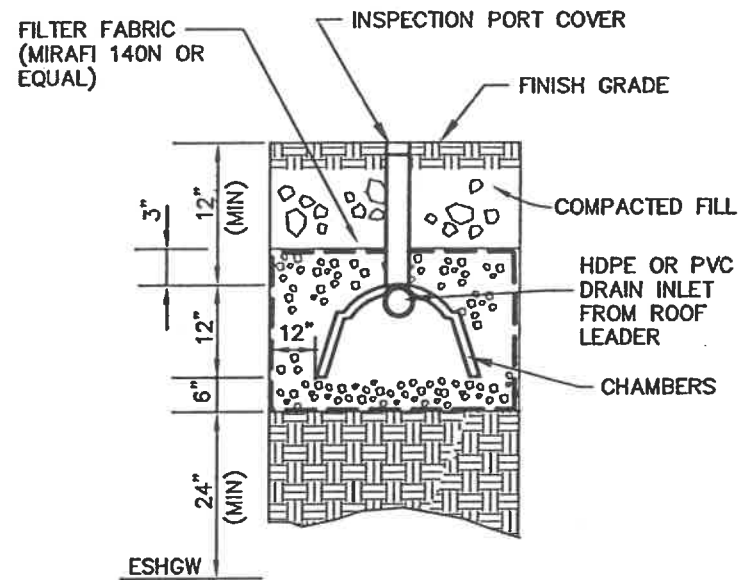
**LJR ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 234 Park Street • North Reading, MA 01864 • 978-664-8141

**PLOT PLAN**  
 972 MAIN STREET  
 LYNNFIELD, MASSACHUSETTS  
 MAP 20 PARCEL 566

DECEMBER 21, 2020



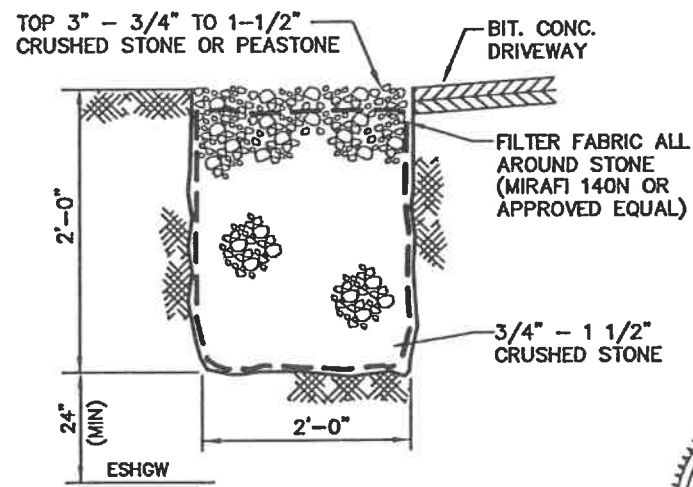
**PLAN**



**SECTION**

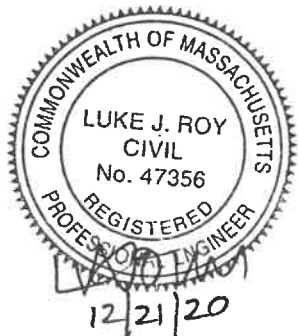
**ROOF DRAIN  
INFILTRATION SYSTEM**

NOT TO SCALE



**STONE INFILTRATION  
TRENCH DETAIL**

NOT TO SCALE



972 MAIN STREET  
LYNNFIELD, MA  
DECEMBER 21, 2020



**SPACE  
CRAFT**

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Lexington, MA 02421

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Fax: 781/674-2111

ADDITION/ RENOVATION TO:  
**DEMONT RESIDENCE**  
972 MAIN STREET  
LYNNFIELD, MA 01940

REVISION & REISSUE NOTES

| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |

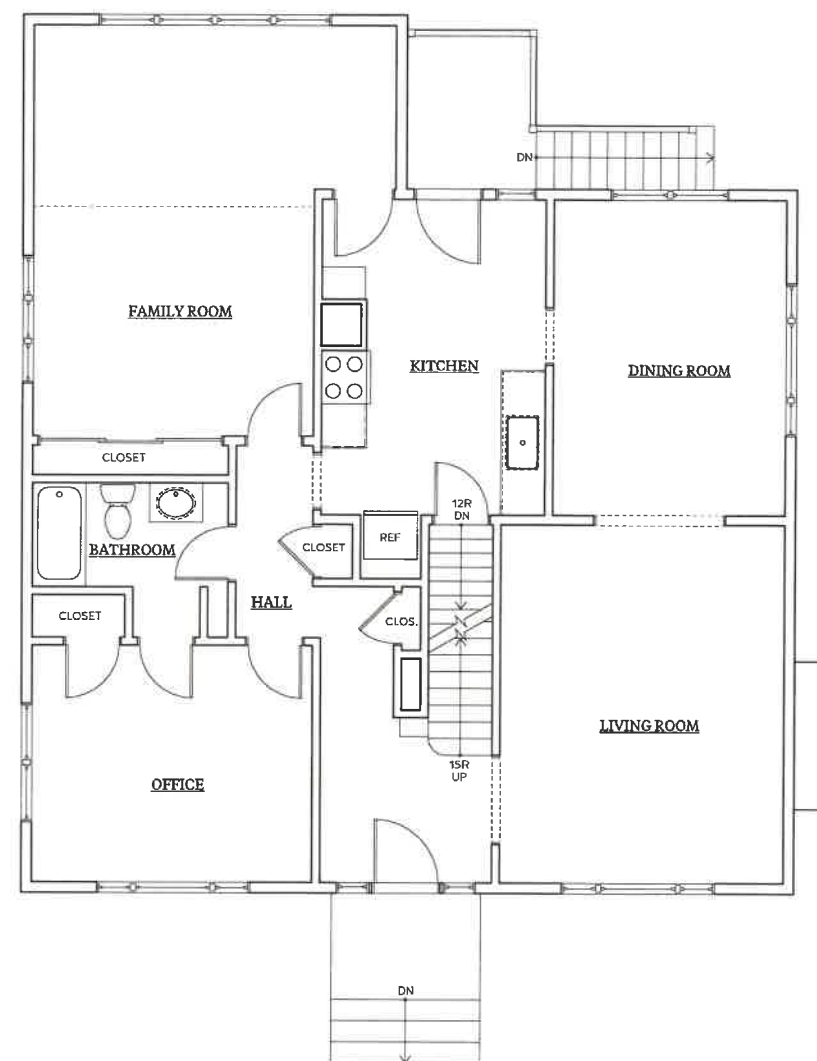
Drawn By: CL Date: 12-23-2020

Scale: AS NOTED

**EXISTING  
FIRST FLOOR  
PLAN**

**EC1.1**

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1 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"





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**REVISION & REISSUE NOTES**

| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |

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**EXISTING  
ELEVATIONS**

**EC2.1**

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CAD File Name:  
972 Main Street\_LCD.vrx



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**REVISION & REISSUE NOTES**

| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |

Drawn By: CL Date: 12-23-2020

Scale: AS NOTED

**EXISTING  
ELEVATIONS**

**EC2.2**

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**1 REAR ELEVATION**  
Scale: 1/4" = 1'-0"



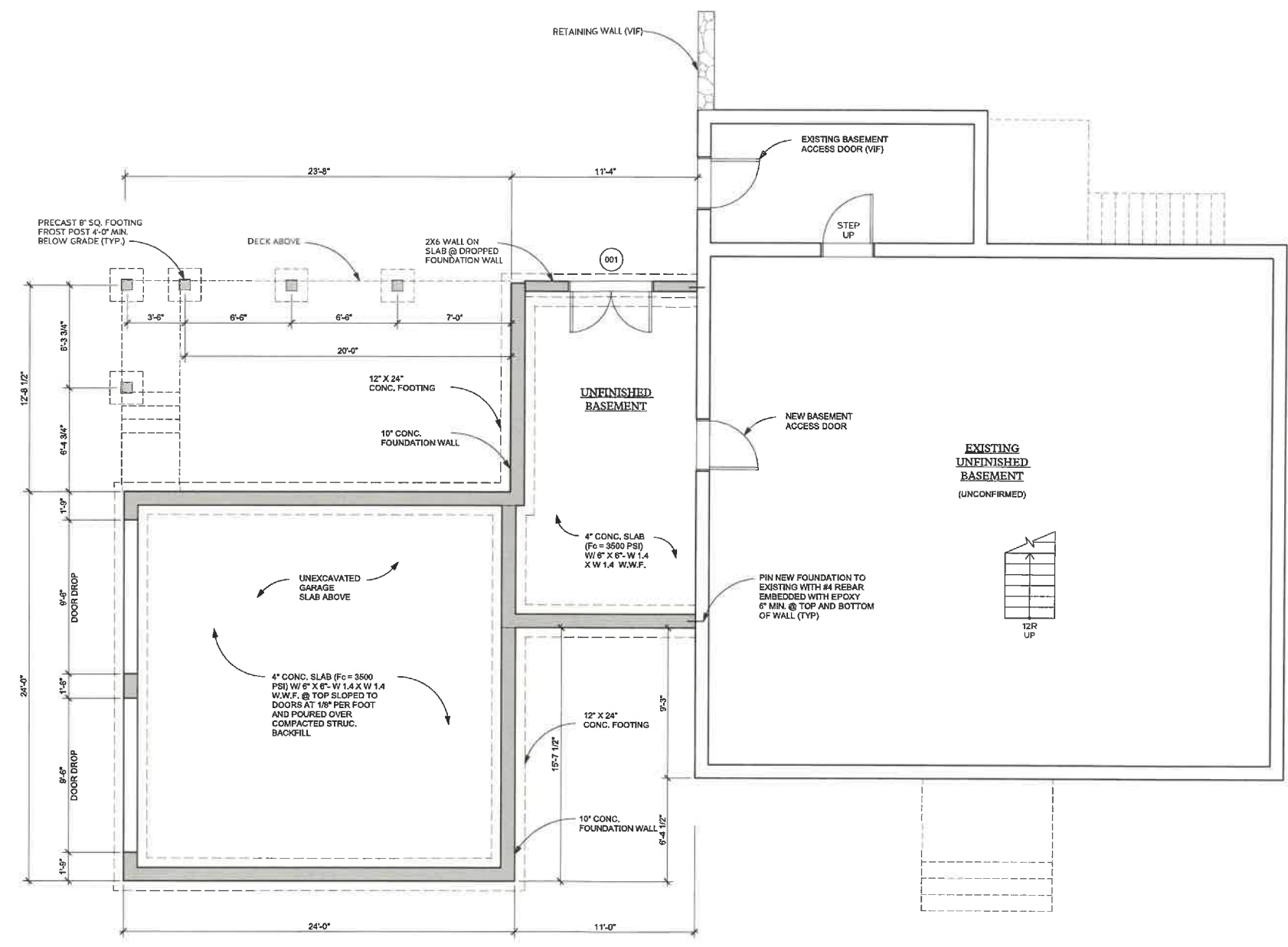
**2 LEFT ELEVATION**  
Scale: 1/4" = 1'-0"





**FOUNDATION KEY:**

- INDICATES NEW STRUCTURE
- INDICATES EXISTING STRUCTURE



**1 BASEMENT/ FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"



CAD File Name  
972\_Main Street\_CD.rvt



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ADDITION/ RENOVATION TO:  
**DEMONT RESIDENCE**  
972 MAIN STREET  
LYNNFIELD, MA 01940

**REVISION & REISSUE NOTES**

| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |
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Drawn By: CL  
Date: 12-23-2020  
Scale: AS NOTED

**BASEMENT/  
FOUNDATION  
PLAN**

**A1.0**

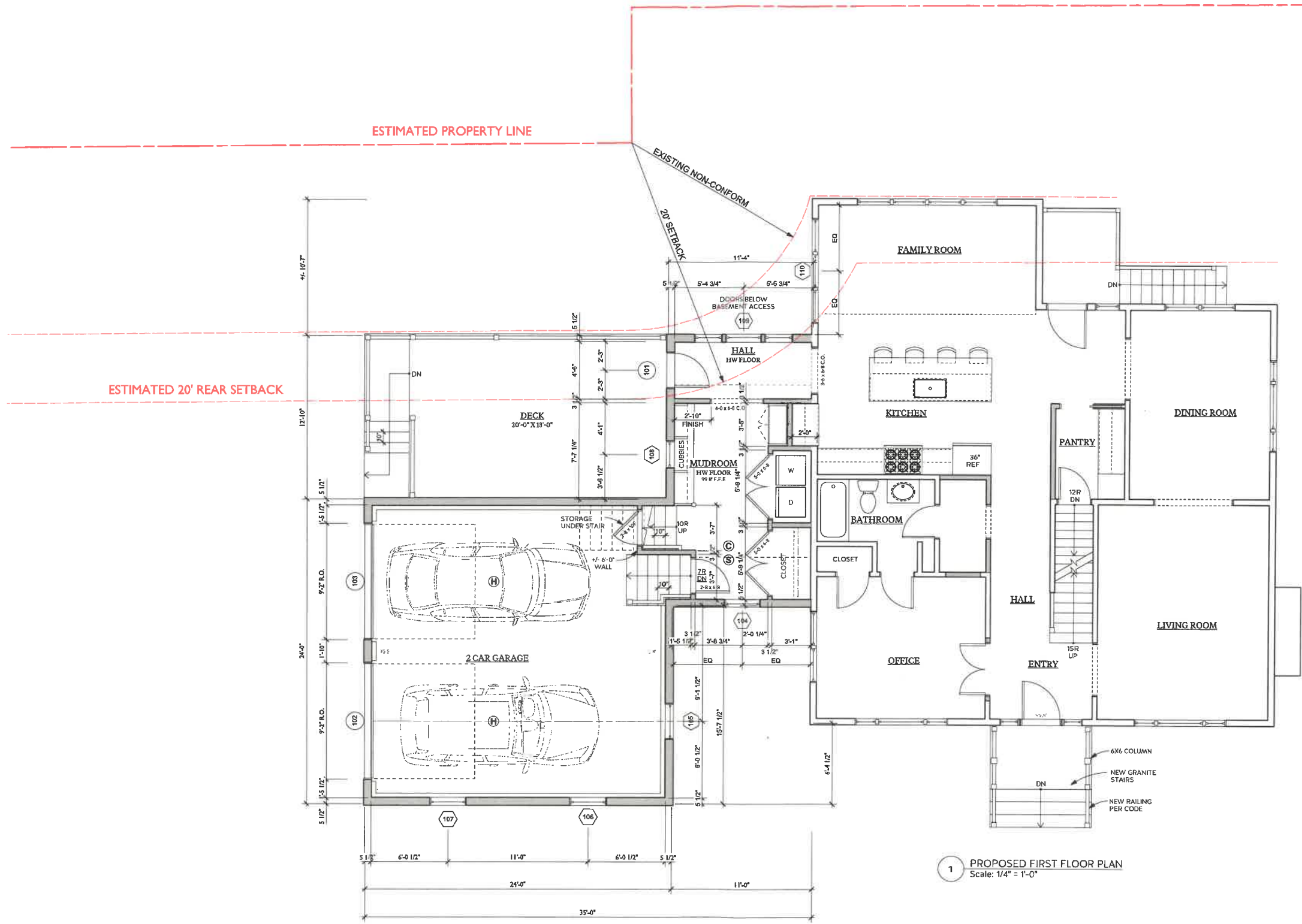


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ADDITION/ RENOVATION TO:  
**DEMONT RESIDENCE**  
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LYNNFIELD, MA 01940

**FLOOR PLAN KEY:**

- Ⓢ INDICATES CARBON MONOXIDE DETECTOR
- Ⓜ INDICATES SMOKE DETECTOR
- Ⓜ INDICATES HEAT DETECTOR
- INDICATES NEW STRUCTURE
- INDICATES EXISTING STRUCTURE
- 101 DOOR TAG
- 102 WINDOW TAG



1 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

REVISION & REISSUE NOTES

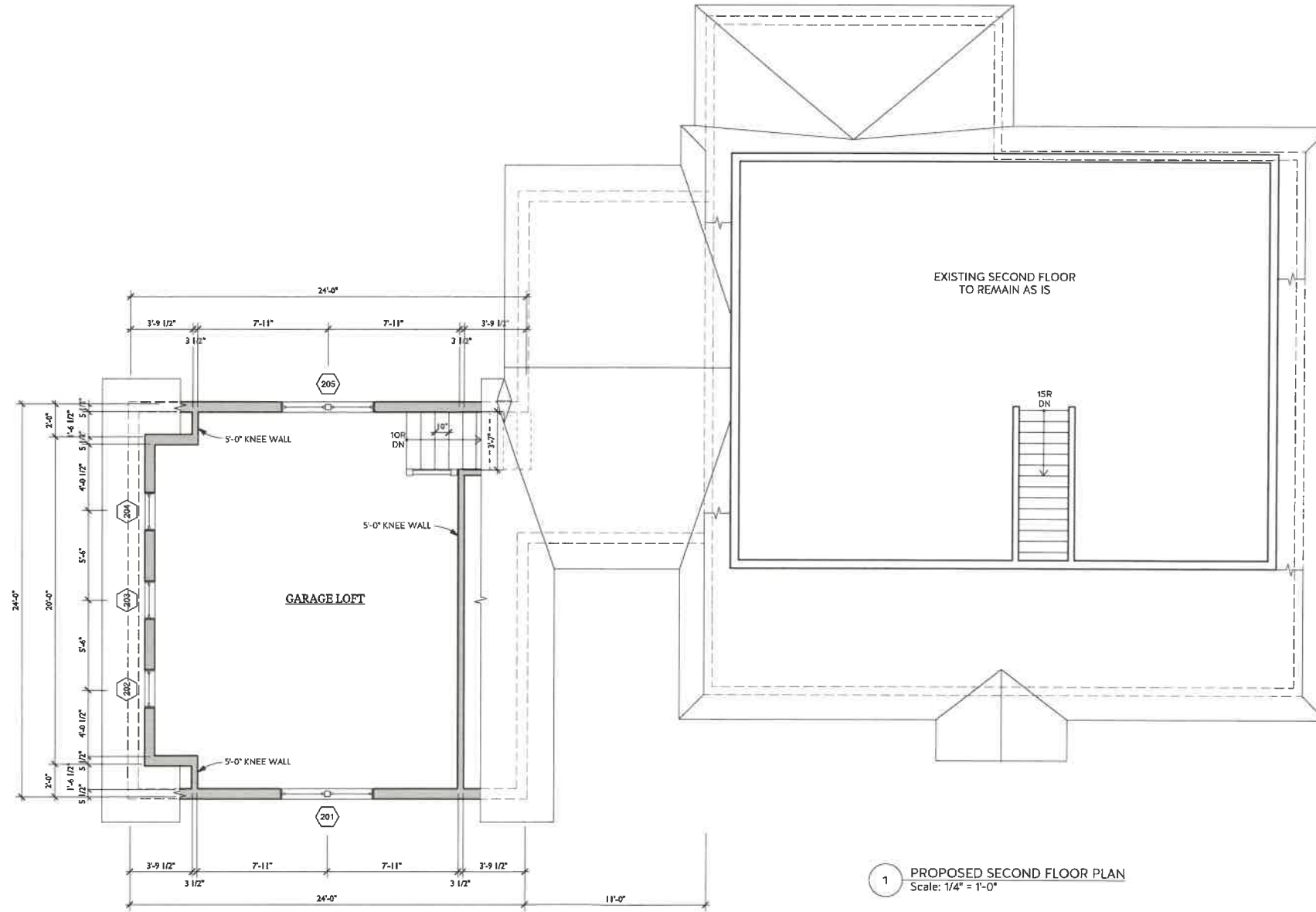
| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |
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Drawn By: CL Date: 12-23-2020  
Scale: AS NOTED

PROPOSED FIRST FLOOR PLAN

**A1.1**

C:\0716\Name  
972 Main Street.CD.vvx



1 PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

- FLOOR PLAN KEY:**
- (C) INDICATES CARBON MONOXIDE DETECTOR
  - (S) INDICATES SMOKE DETECTOR
  - (H) INDICATES HEAT DETECTOR
  - [Solid Line] INDICATES NEW STRUCTURE
  - [Dashed Line] INDICATES EXISTING STRUCTURE
  - (D) DOOR TAG
  - (W) WINDOW TAG



**SPACE  
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**REVISION & REISSUE NOTES**

| No. | Date     | Notes    |
|-----|----------|----------|
| A   | 12/23/20 | Progress |
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Drawn By: CL Date: 12-23-2020  
Scale: AS NOTED

**PROPOSED  
SECOND  
FLOOR PLAN**

**A1.2**

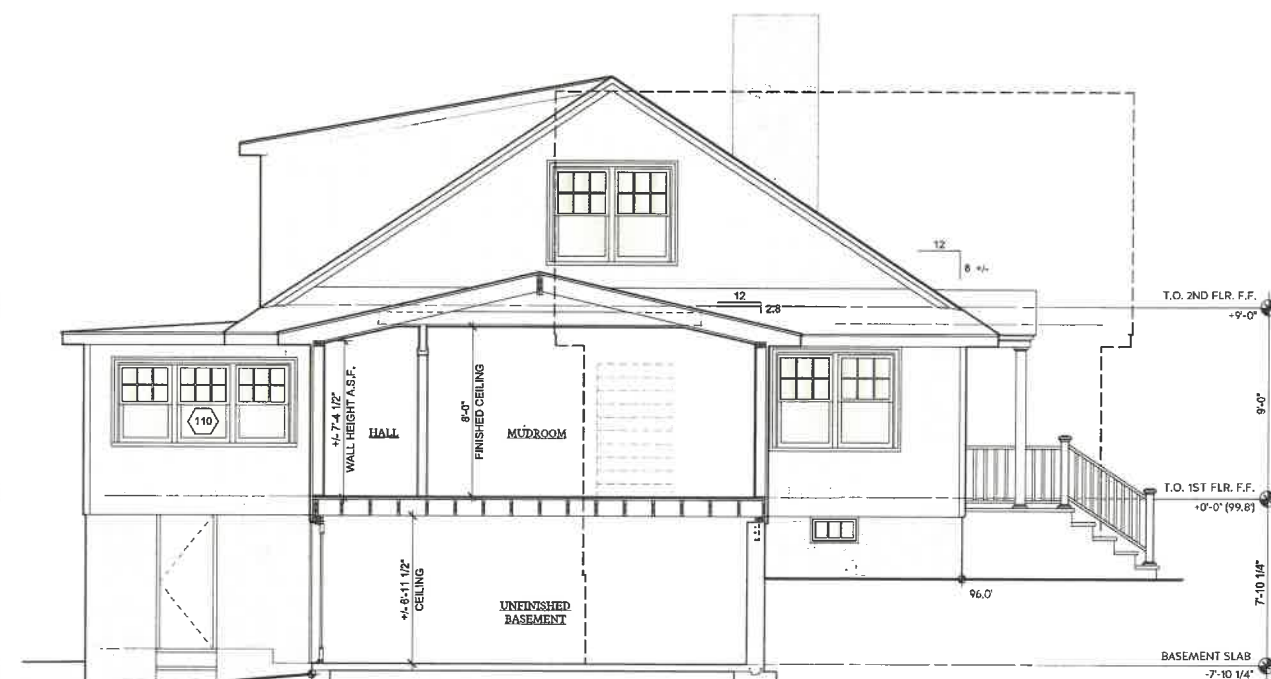




1 FRONT ELEVATION  
Scale: 1/4" = 1'-0"



3 RIGHT ELEVATION  
Scale: 1/4" = 1'-0"



2 SECTION  
Scale: 1/4" = 1'-0"



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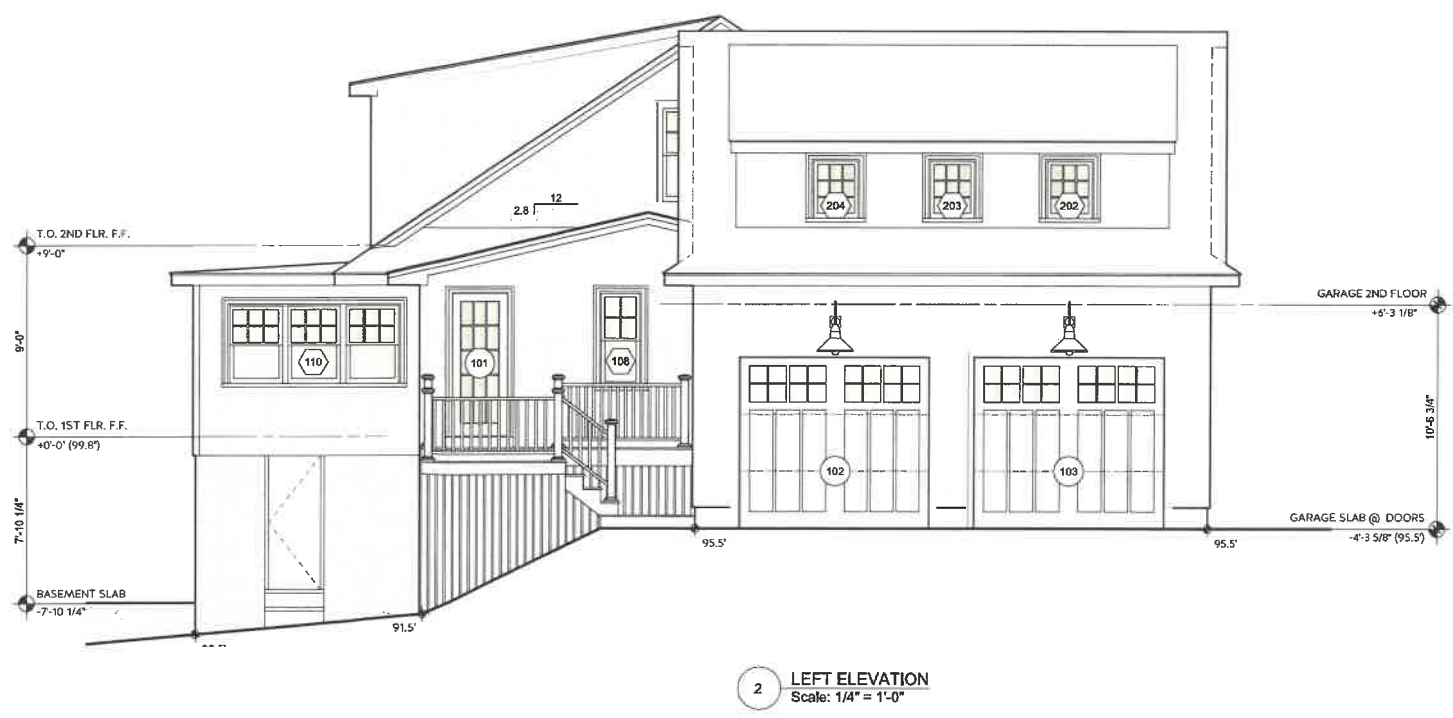
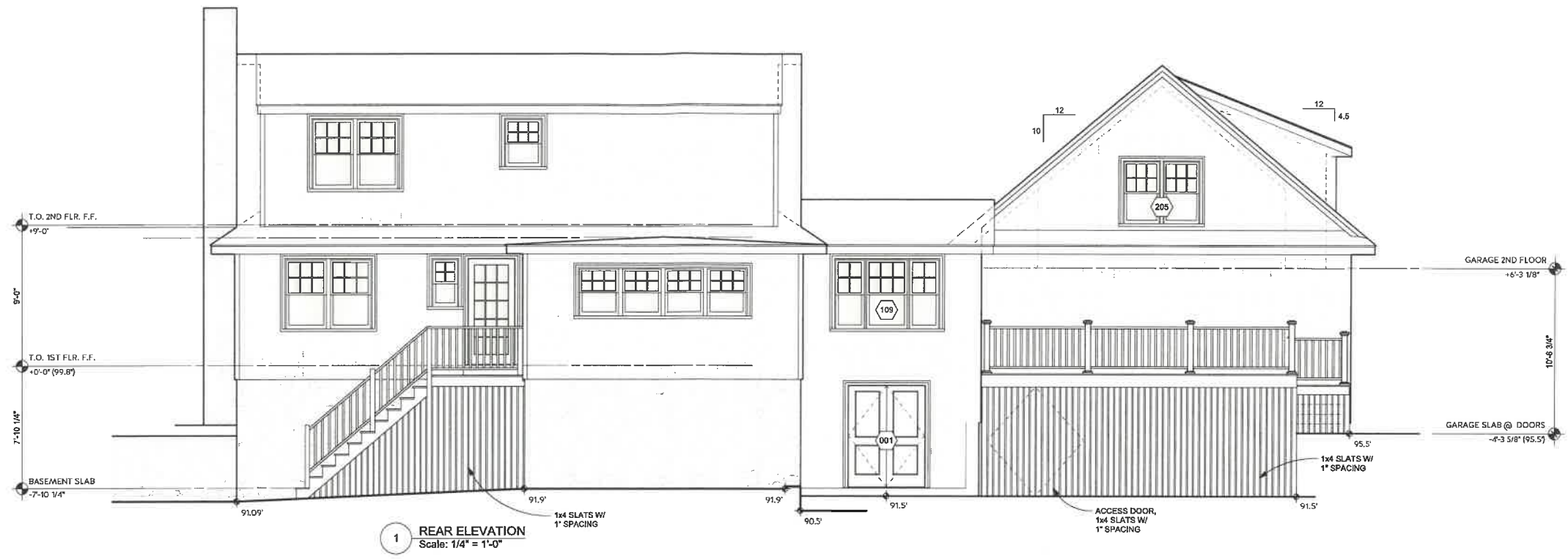
ADDITION/ RENOVATION TO:  
**DEMONT RESIDENCE**  
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LYNNFIELD, MA 01940

| REVISION & REISSUE NOTES |          |          |
|--------------------------|----------|----------|
| No.                      | Date     | Notes    |
| A                        | 12/23/20 | Progress |

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Date: 12-23-2020  
Scale: AS NOTED

**EXTERIOR ELEVATIONS**

**A2.1**



CDP File Name: 972 Main Street.CAD.yvw



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| REVISION & REISSUE NOTES |          |          |
|--------------------------|----------|----------|
| No.                      | Date     | Notes    |
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**EXTERIOR  
ELEVATIONS**

**A2.2**

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