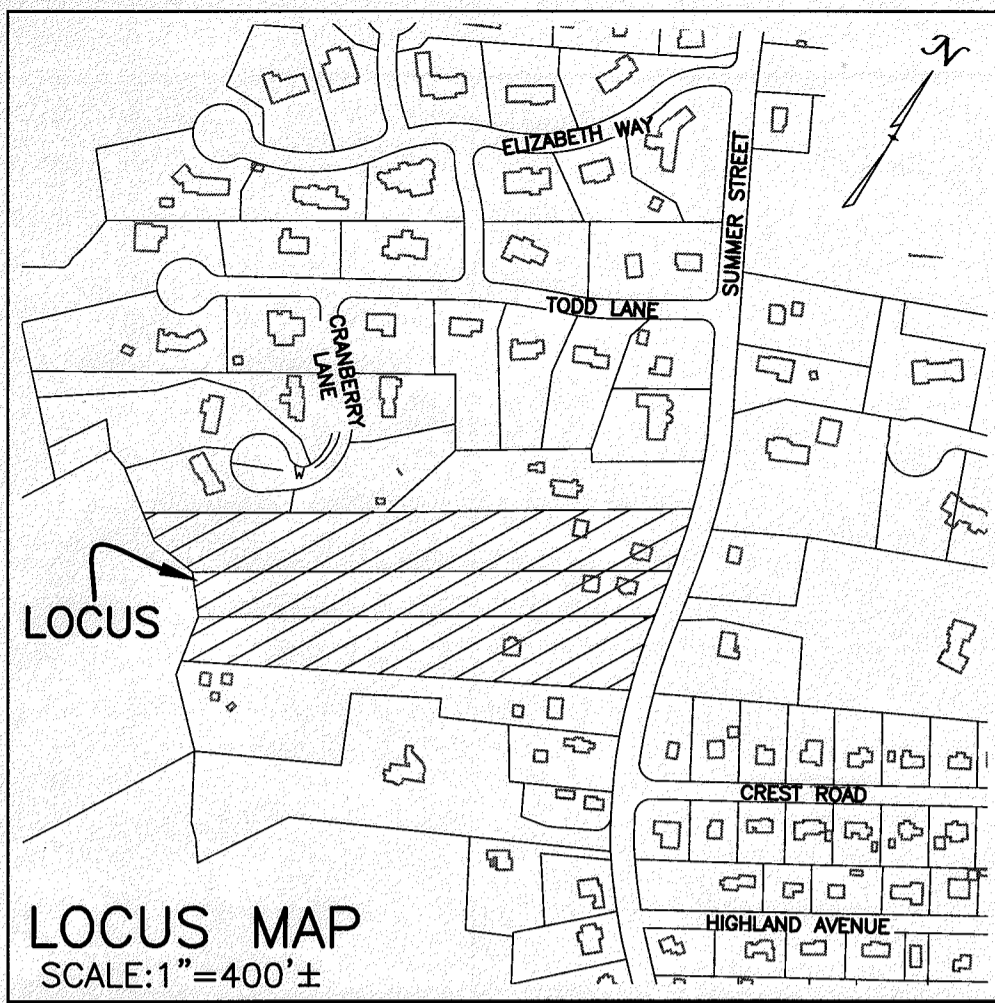
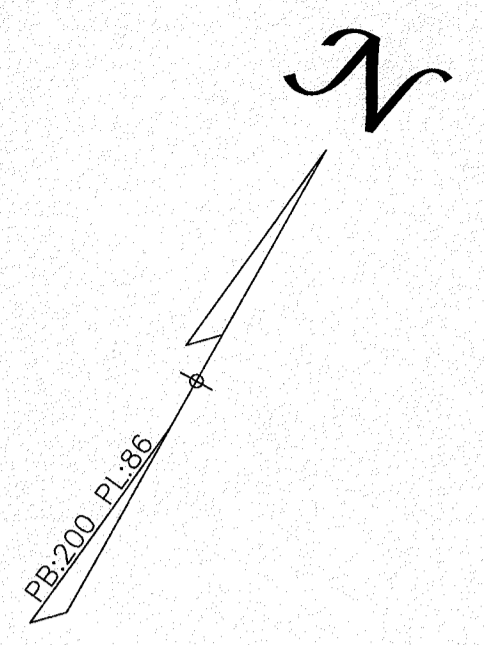


DEFINITIVE SUBDIVISION PLAN ROAD A IN LYNNFIELD, MASSACHUSETTS ASSESSORS MAP 34 LOTS 2015, 2027 AND 2055



LOCUS MAP
SCALE: 1"=400'±

N: 919,963.556 m
E: 237,570.665 m

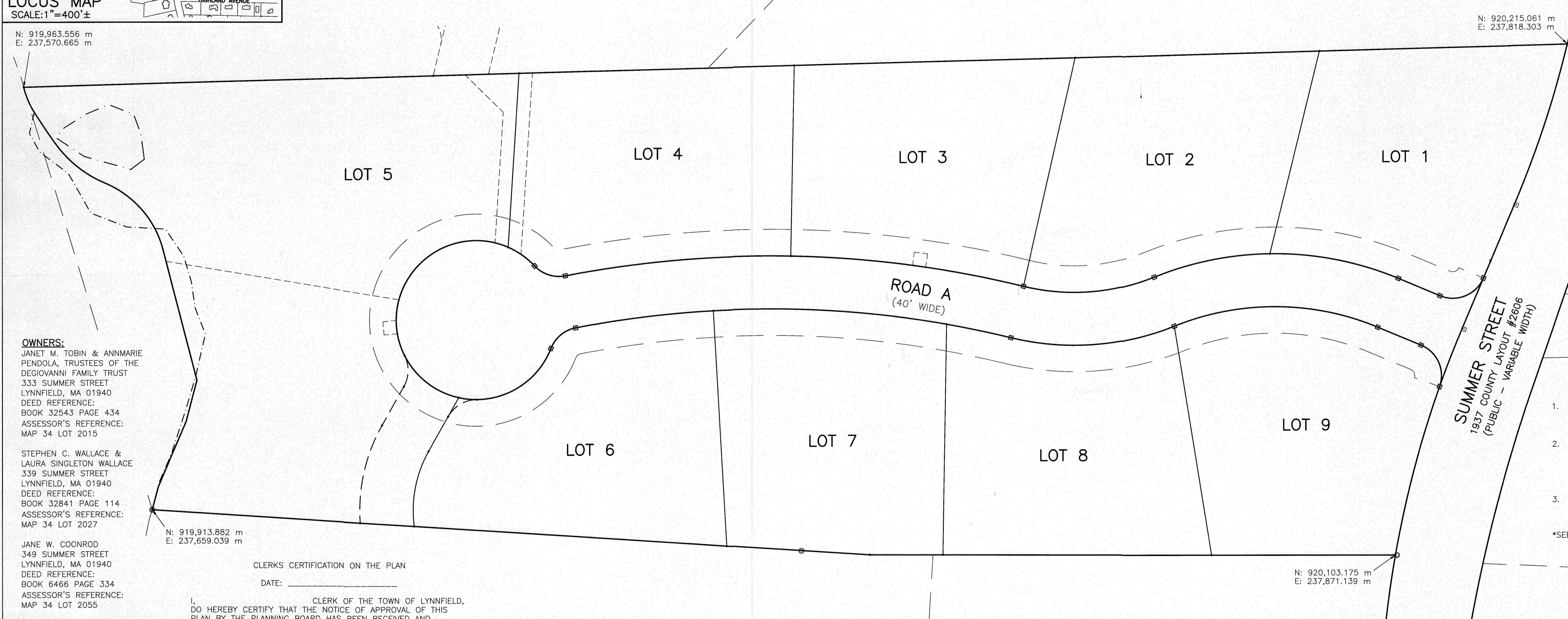


COORDINATE SYSTEM:
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
MINIMUM LOT FRONTAGE = 150 FEET
FRONT YARD SETBACK = 40 FEET
(OR 60' FROM STREET CENTER LINE)
SIDE YARD SETBACK = 20 FEET
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



OWNERS:
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027

JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055

N: 919,913.882 m
E: 237,659.039 m

CLERKS CERTIFICATION ON THE PLAN
DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD,
DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND
RECORDING OF SAID NOTICE.

TOWN CLERK

LYNNFIELD
PLANNING BOARD

DATE: _____

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

GENERAL NOTES:

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018 AND CONFIRMED BY THE LYNNFIELD CONSERVATION COMMISSION IN AN ORAD ISSUED ON MAY 15, 2018 (SEE DEP FILE NUMBER 209-0622).
2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
7. EXISTING STRUCTURES ON LOCUS PROPERTY ARE TO BE RAZED.
8. THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.
9. INSTALLATION OF GAS, ELECTRIC, TELEPHONE/COMMUNICATIONS AND OTHER UTILITY MAINS AND SERVICES TO BE COORDINATED WITH THEIR APPROPRIATE PROVIDERS AND APPROVED BY THE TOWN OF LYNNFIELD RESPECTIVE DEPARTMENTS.

LIST OF REQUESTED SUBDIVISION WAIVERS - CHAPTER 375

1. SECTION 8.5.B. (1)(g) REPLACE COLONIAL POLE-TOP LIGHTING FIXTURE WITH AMERICANA ELECTRIC LIGHTING PART #247L-20LEDE70 OR APPROVED EQUAL.
2. SECTION 7.1.D.(1) WHICH REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500' UNLESS, IN THE OPINION OF THE PLANNING BOARD, A GREATER LENGTH IS NECESSITATED BY TOPOGRAPHY OR OTHER LOCAL CONDITIONS, AND, IN PLACE THEREOF, ALLOW A LENGTH OF 812.91 FEET AS SHOWN.
3. SECTION 7.1.D.(2) REQUEST A WAIVER TO ALLOW CONSTRUCTION OF AN ISLAND WITHIN THE TURNAROUND OF THE CUL-DE-SAC.

*SEE INDIVIDUAL SHEETS FOR REQUESTED SHEET WAIVERS.

N: 920,103.175 m
E: 237,871.139 m

SUMMER STREET
1937 COUNTY LAYOUT #2606
(PUBLIC - VARIABLE WIDTH)

ZONE LINE RB
RA



PLAN SET INDEX

- SHEET 1: COVER SHEET
- SHEET 2: DEFINITIVE LOTTING PLAN
- SHEET 3: EXISTING CONDITIONS AND DEMOLITION PLAN
- SHEET 4: DEFINITIVE PLAN & PROFILE
- SHEET 5: TOPOGRAPHIC PLAN (SHEET 1 OF 2)
- SHEET 6: TOPOGRAPHIC PLAN (SHEET 2 OF 2)
- SHEET 7: STREET LIGHTING PLAN
- SHEET 8: EROSION AND SEDIMENT CONTROL PLAN
- SHEET 9-11: CONSTRUCTION DETAILS

6		
5		
4		
3		
2		
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**COVER SHEET
ROAD A
LYNNFIELD, MA**

APPLICANT/SUBDIVIDER:
HPI, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055



0' 20' 40' 80'
SCALE: 1"=40'

COVER SHEET 1 OF 1
SHEET 1 OF 11

NOVEMBER 21, 2018

LEGEND OF ABBREVIATIONS

- BM - BENCH MARK
- DH - DRILL HOLE
- IP - IRON PIPE
- CBE - CENTER BACK EDGE
- ECSB - ESSEX COUNTY STONE BOUND (FND) - FOUND

ZONING DISTRICT: RB

- MINIMUM LOT AREA = 30,000 S.F.
- MINIMUM LOT FRONTAGE = 150 FEET
- FRONT YARD SETBACK = 40 FEET (OR 60 FROM STREET CENTER LINE)
- SIDE YARD SETBACK = 20 FEET
- REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

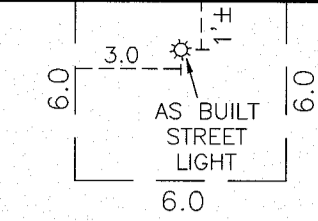
COORDINATE SYSTEM:
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

ZONING TABLE

LOT #	LOT AREA (S.F.)	UPLAND AREA (S.F.)	FRONTAGE (FT.)	DISTRICT
1	30,195	30,195	150.00*	RB
2	30,127	30,127	186.40	RB
3	30,033	30,033	175.97	RB
4	30,464	30,464	211.84	RB
5	77,200±***	69,700±***	150.00**	RB
6	30,721	30,721	201.94	RB
7	30,234	30,234	175.02	RB
8	30,550	30,550	170.78	RB
9	30,508	30,508	200.07*	RB

* : MEASURED ALONG A STRAIGHT LINE FROM LOT CORNER TO MID POINT OF ROUNDING.
** : USED 75% OF THE DISTANCE ALONG A CURVE.
*** : INCLUDES FUTURE ROADWAY EASEMENT AREA OF 4,471± S.F.

ROADWAY SIDELINE



STREET LIGHT LOCATION AND 6"x6" EASEMENT WHERE NECESSARY

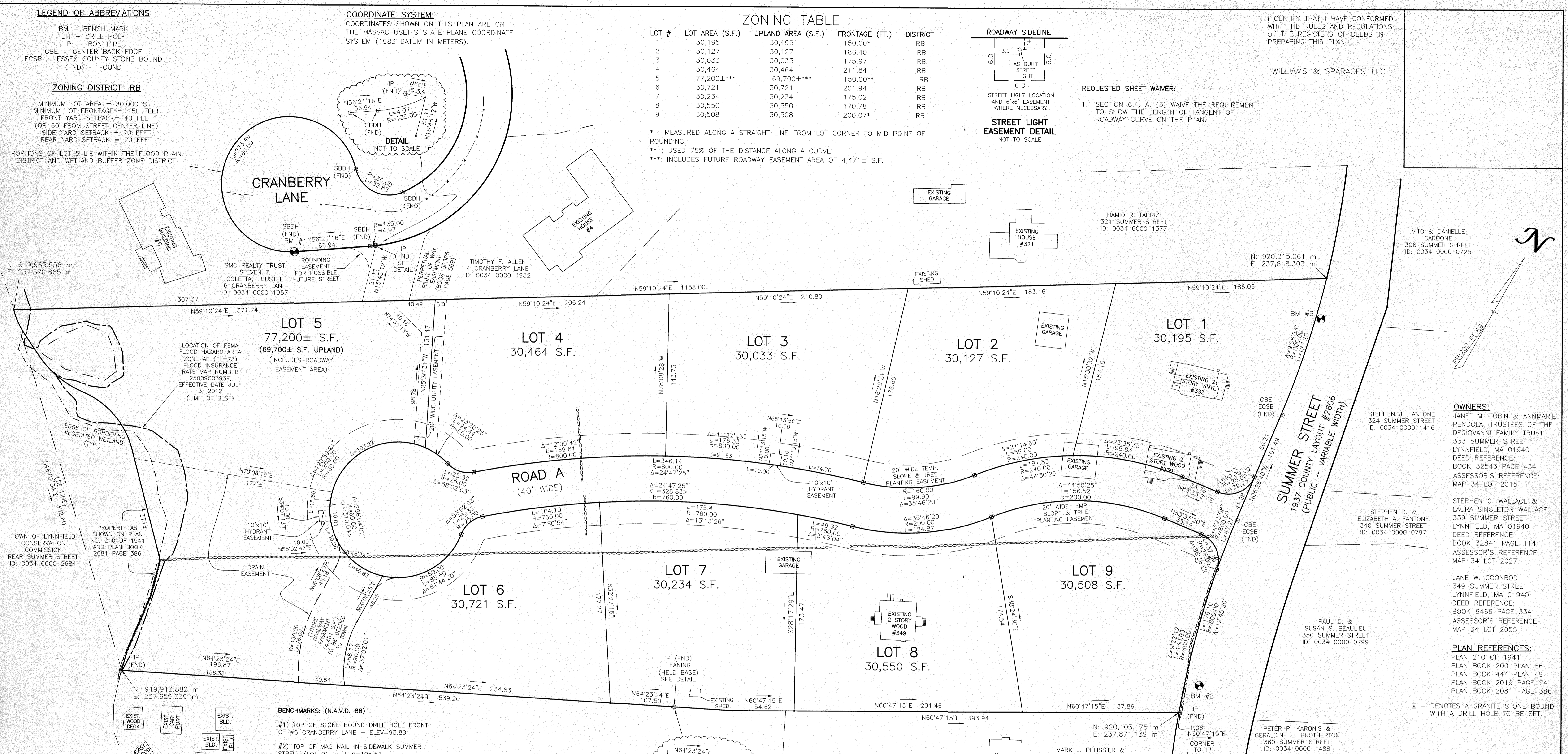
STREET LIGHT EASEMENT DETAIL
NOT TO SCALE

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

REQUESTED SHEET WAIVER:

- SECTION 6.4. A. (3) WAIVE THE REQUIREMENT TO SHOW THE LENGTH OF TANGENT OF ROADWAY CURVE ON THE PLAN.



LOT 5
77,200± S.F.
(69,700± S.F. UPLAND)
(INCLUDES ROADWAY EASEMENT AREA)

LOT 4
30,464 S.F.

LOT 3
30,033 S.F.

LOT 2
30,127 S.F.

LOT 1
30,195 S.F.

ROAD A
(40' WIDE)

LOT 6
30,721 S.F.

LOT 7
30,234 S.F.

LOT 8
30,550 S.F.

LOT 9
30,508 S.F.

BENCHMARKS: (N.A.V.D. 88)

- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
- #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

NOTES:

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
2. WETLAND RESOURCE FLAGS AND FEMA FLOOD HAZARD AREA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
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7. EXISTING LOCUS STRUCTURES ARE TO BE RAZED.

LYNNFIELD PLANNING BOARD

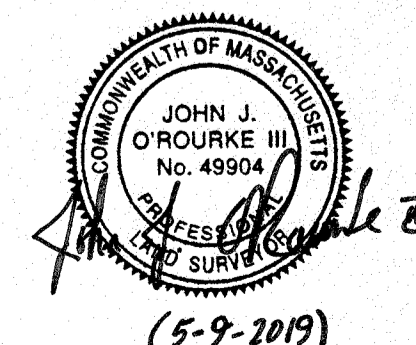
CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

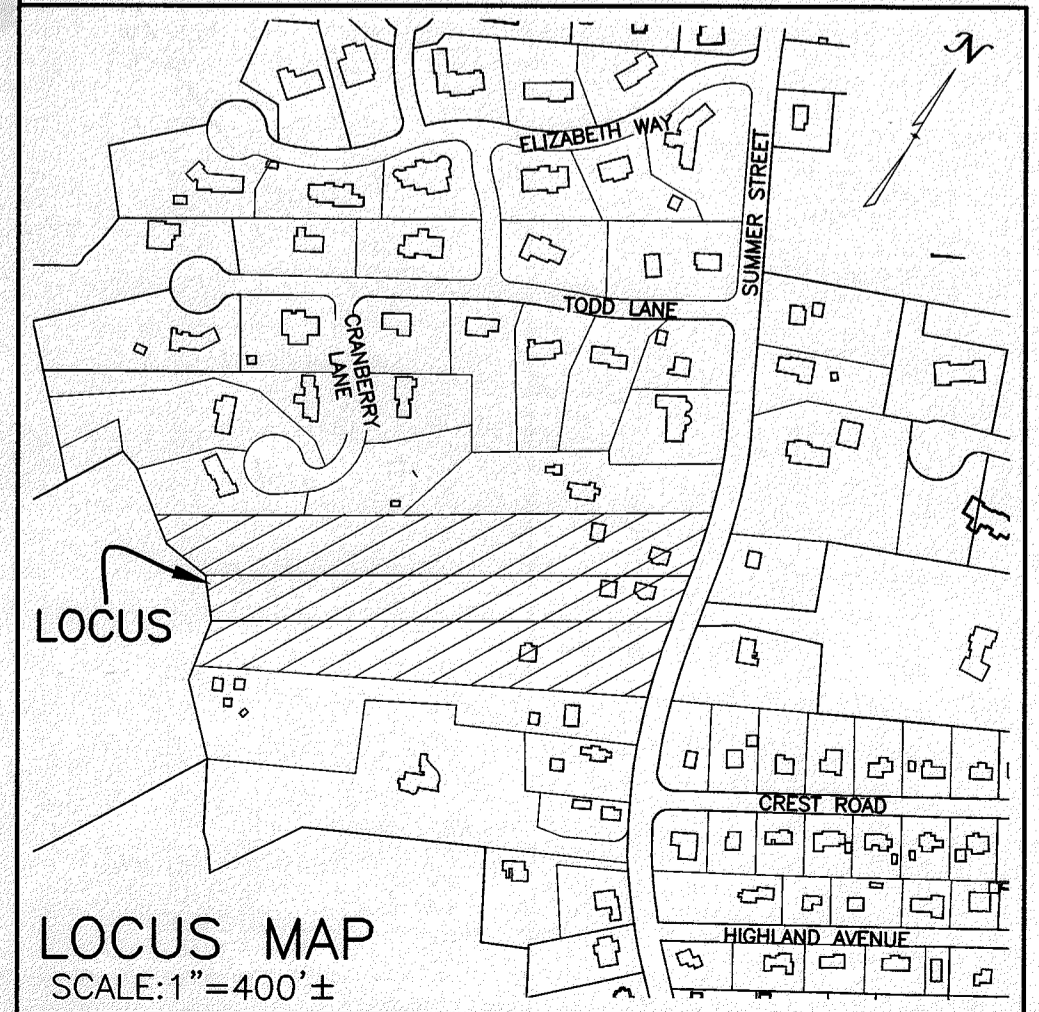
ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	



- OWNERS:**
- JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST 333 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32543 PAGE 434 ASSESSOR'S REFERENCE: MAP 34 LOT 2015
 - STEPHEN C. WALLACE & LAURA SINGLETON WALLACE 339 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32841 PAGE 114 ASSESSOR'S REFERENCE: MAP 34 LOT 2027
 - JANE W. COONROD 349 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 6466 PAGE 334 ASSESSOR'S REFERENCE: MAP 34 LOT 2055
 - STEPHEN J. FANTONE 324 SUMMER STREET ID: 0034 0000 1416
 - STEPHEN D. & ELIZABETH A. FANTONE 340 SUMMER STREET ID: 0034 0000 0797
 - PAUL D. & SUSAN S. BEAULIEU 350 SUMMER STREET ID: 0034 0000 0799
 - PETER P. KARONIS & GERALDINE BROTHERTON 360 SUMMER STREET ID: 0034 0000 1488
 - HAMID R. TABRIZI 321 SUMMER STREET ID: 0034 0000 1377
 - VITO & DANIELLE CARDONE 306 SUMMER STREET ID: 0034 0000 0725
 - MARK J. PELISSIER & JILLIAN SARAH PELISSIER 357 SUMMER STREET ID: 0034 0000 2091

- PLAN REFERENCES:**
- PLAN 210 OF 1941
 - PLAN BOOK 200 PLAN 86
 - PLAN BOOK 444 PLAN 49
 - PLAN BOOK 2019 PAGE 241
 - PLAN BOOK 2081 PAGE 386

□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.



LOT #	TOWN COMMENTS/PEER REVIEW	DATE
6		
5		
4		
3		
2		
1		

DEFINITIVE LOTTING PLAN
ROAD A
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

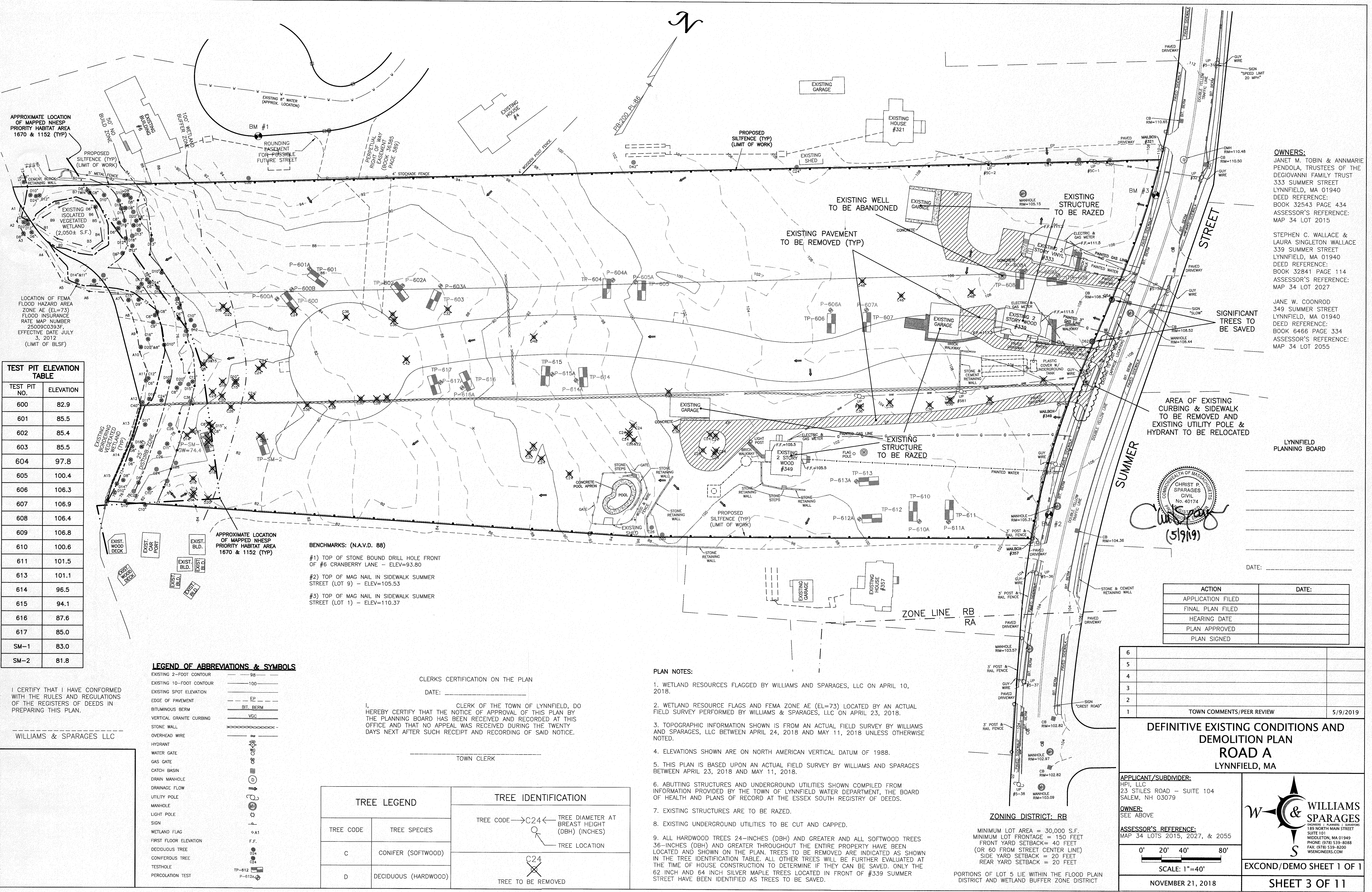
ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

SCALE: 1"=40'

NOVEMBER 21, 2018

WILLIAMS & SPARAGES
189 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8200
WSENGINEERS.COM

DEFINITIVE SHEET 1 OF 1
SHEET 2 OF 11



APPROXIMATE LOCATION OF MAPPED NHESP PRIORITY HABITAT AREA 1670 & 1152 (TYP)

EXISTING 8" WATER (APPROX. LOCATION)

PROPOSED SILTFENCE (TYP) (LIMIT OF WORK)

EXISTING VEGETATED WETLAND (2,050± S.F.)

LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 250090C333F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

TEST PIT NO.	ELEVATION
600	82.9
601	85.5
602	85.4
603	85.5
604	97.8
605	100.4
606	106.3
607	106.9
608	106.4
609	106.8
610	100.6
611	101.5
613	101.1
614	96.5
615	94.1
616	87.6
617	85.0
SM-1	83.0
SM-2	81.8

BENCHMARKS: (N.A.V.D. 88)

#1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80

#2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53

#3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

LEGEND OF ABBREVIATIONS & SYMBOLS

EXISTING 2-FOOT CONTOUR	98
EXISTING 10-FOOT CONTOUR	100
EXISTING SPOT ELEVATION	EP
EDGE OF PAVEMENT	EP
BITUMINOUS BERM	BIT. BERM
VERTICAL GRANITE CURBING	VGC
STONE WALL	—
OVERHEAD WIRE	—
HYDRANT	—
WATER GATE	—
GAS GATE	—
CATCH BASIN	—
DRAIN MANHOLE	—
DRAINAGE FLOW	—
UTILITY POLE	—
MANHOLE	—
LIGHT POLE	—
SIGN	—
WETLAND FLAG	—
FIRST FLOOR ELEVATION	F.F.
DECIDUOUS TREE	—
CONIFEROUS TREE	—
TESTHOLE	—
PERCOLATION TEST	—

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

TREE LEGEND		TREE IDENTIFICATION	
TREE CODE	TREE SPECIES	TREE CODE	TREE IDENTIFICATION
C	CONIFER (SOFTWOOD)	C24	TREE DIAMETER AT BREAST HEIGHT (DBH) (INCHES)
D	DECIDUOUS (HARDWOOD)	C24	TREE LOCATION
		X	TREE TO BE REMOVED

- PLAN NOTES:**
1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
 2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
 3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
 4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
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 6. ADJUTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
 7. EXISTING STRUCTURES ARE TO BE RAZED.
 8. EXISTING UNDERGROUND UTILITIES TO BE CUT AND CAPPED.
 9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.

OWNERS:
 JANET M. TOBIN & ANNMARIE PENNOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD
 349 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

AREA OF EXISTING CURBING & SIDEWALK TO BE REMOVED AND EXISTING UTILITY POLE & HYDRANT TO BE RELOCATED

LYNNFIELD PLANNING BOARD

CHRIST P. SPARAGES
 CIVIL
 No. 40174
 (519) 919-1111

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

NO.	TOWN COMMENTS/PEER REVIEW	DATE
6		
5		
4		
3		
2		
1		

DEFINITIVE EXISTING CONDITIONS AND DEMOLITION PLAN
ROAD A
 LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

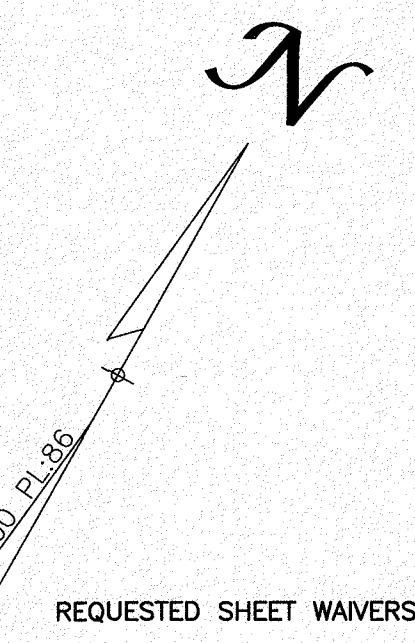
0' 20' 40' 80'
 SCALE: 1"=40'
 NOVEMBER 21, 2018

WILLIAMS & SPARAGES
 ENGINEERS & PLANNERS I SURVEYORS
 189 NORTH MAIN STREET
 SUITE 101
 MIDDLETON, MA 01949
 PHONE: (978) 539-8088
 FAX: (978) 539-8200
 WSENGINEERS.COM

EXCOND/DEMO SHEET 1 OF 1
 SHEET 3 OF 11

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

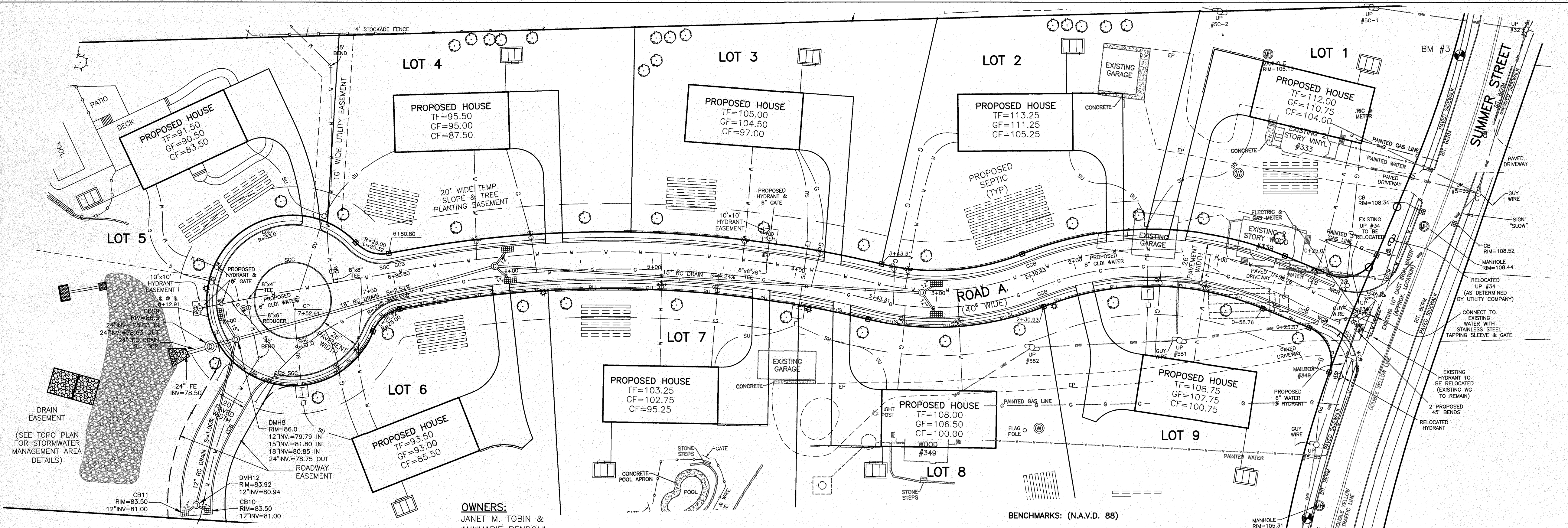


REQUESTED SHEET WAIVERS:

- SECTION 6.4.C.(2)(K) WAIVE THE REQUIREMENT TO SHOW THE CURRENT, APPROVED, AND NONAPPEALED WETLANDS BOUNDARY, AS DETAILED HEREIN, INCLUDING ONE-HUNDRED-, -FIFTY-, AND TWENTY-FIVE-FOOT BUFFER ZONES AS THEY ARE SHOWN ON SHEETS 2, 3, 5, 7 AND 8.
- SECTION 6.4.C.(1)(G) WAIVE THE REQUIREMENT TO SHOW THE LEFT AND RIGHT GUTTER LINE PROFILES ON THIS SHEET AS THEY ARE SHOWN ON DETAIL SHEET 3 OF 3.

PLAN NOTES:

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD, MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- ALL SUBSTITUTIONS OF APPROVED EQUALS MUST BE APPROVED BY THE TOWN ENGINEER.
- REFER TO GENERAL NOTES LISTED ON COVER SHEET.



DRINKING WATER DISTRIBUTION PIPING INSTALLATION NOTES:

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LYNNFIELD CENTER WATER DISTRICT UNLESS OTHERWISE SPECIFIED.
- AS BUILT PLANS SHALL BE SUBMITTED TO THE LYNNFIELD CENTER WATER DISTRICT IN ELECTRONIC FORMAT, AS WELL AS ONE SET OF REPRODUCIBLE PLANS. THESE WILL INCLUDE TIES TO VALVES, CURB BOXES, AND SERVICE CORPORATIONS.
- SHUTDOWN AND TIE IN PROCEDURES SHALL BE COORDINATED WITH THE LYNNFIELD CENTER WATER DISTRICT.
- CHLORINATING AND HYDROSTATIC TESTING SHALL BE WITNESSED BY A REPRESENTATIVE OF THE LYNNFIELD CENTER WATER DISTRICT.
- SERVICE CONNECTIONS SHALL BE COMPLETED AFTER THE NEW WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED, AND APPROVED.
- MAINTAIN A MINIMUM CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER UTILITIES OF AT LEAST 18 INCHES.
- ALL HYDRANTS SHALL INCLUDE SNOW FLAGS TO PROVIDE VISIBILITY DURING SNOW SITUATIONS.
- ALL VALVE BOXES SHALL BE PROVIDED WITH MUD PLUGS.

OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
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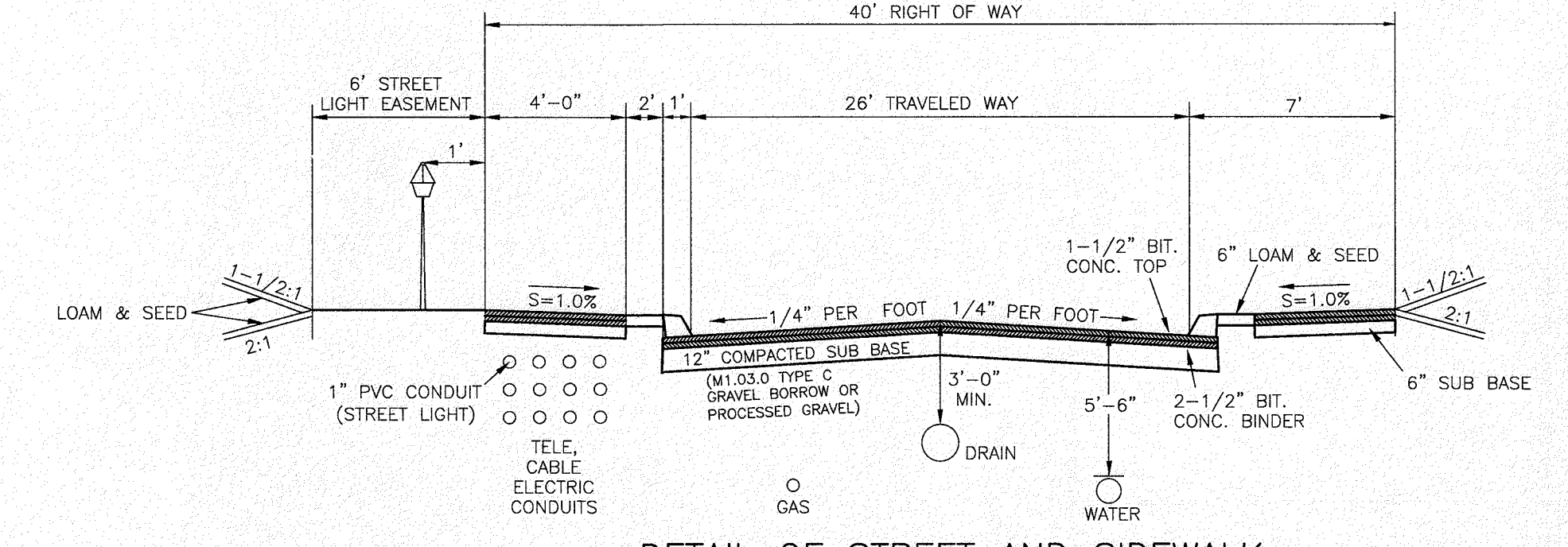
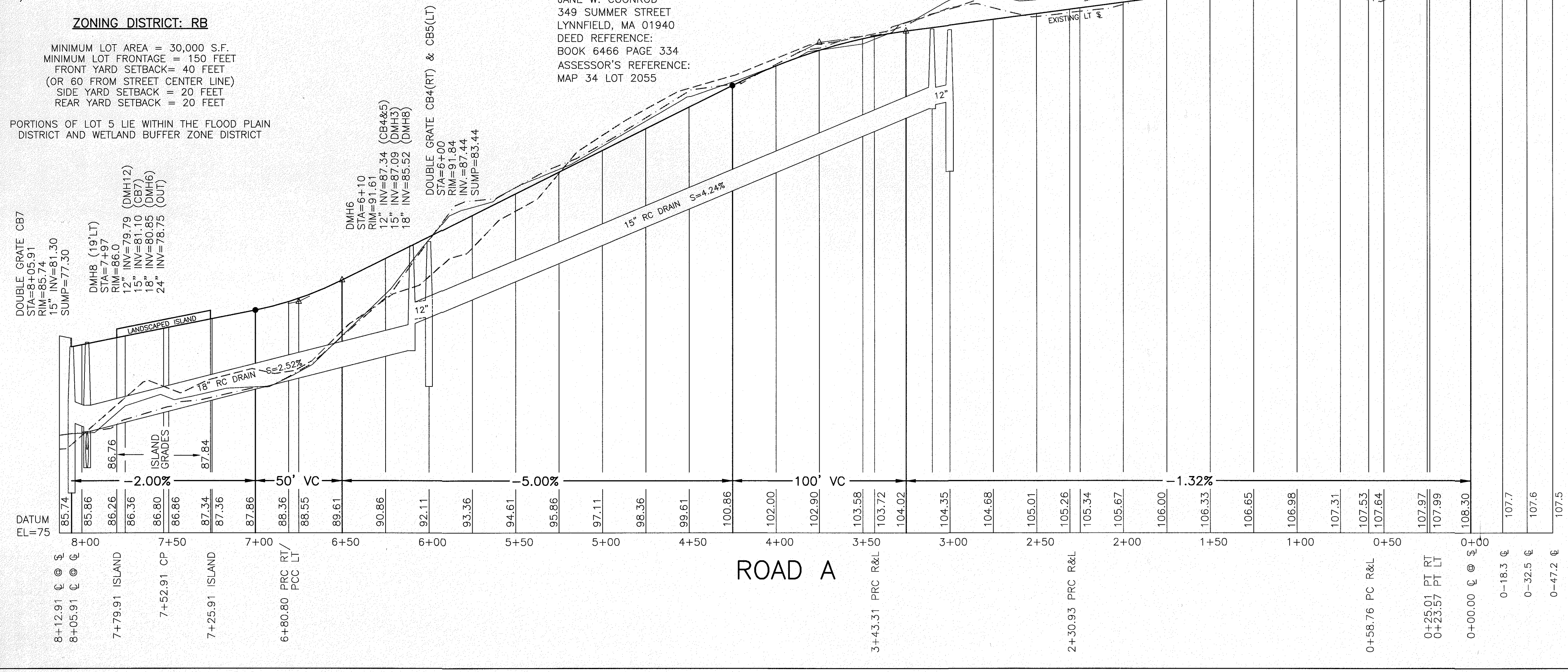
BENCHMARKS: (N.A.V.D. 88)

- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80 (SEE TOPO SHEET FOR LOCATION)
- #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

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- REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



DETAIL OF STREET AND SIDEWALK CROSS SECTION WITH BURIED UTILITIES
 (NOT TO SCALE)

CLERKS CERTIFICATION ON THE PLAN

DATE: _____
 CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

TOWN CLERK _____

LYNNFIELD PLANNING BOARD _____

DATE: _____

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

6		
5		
4		
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2		
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

DEFINITIVE PLAN & PROFILE ROAD A LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI, LLC
 23 STILES ROAD - SUITE 104 SALEM, NH 03079

OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

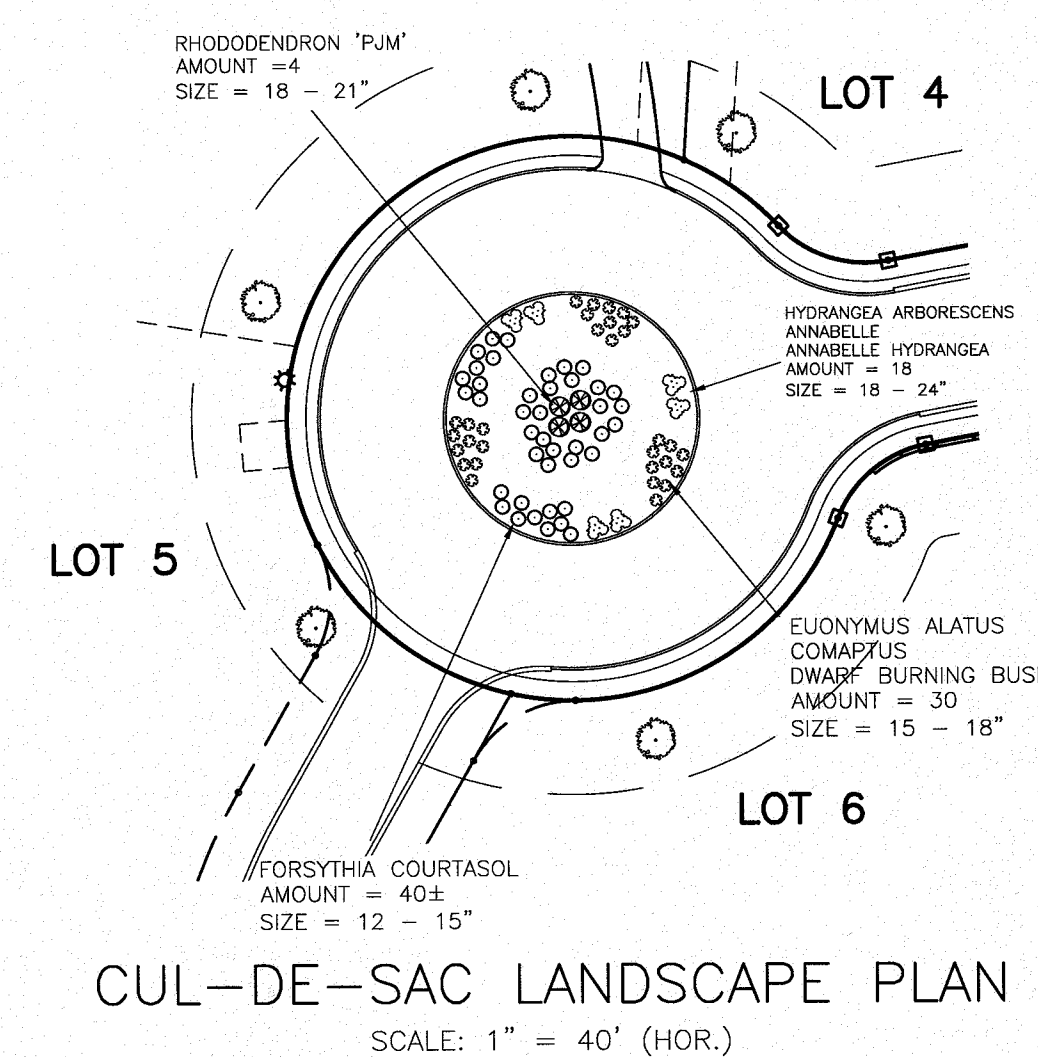
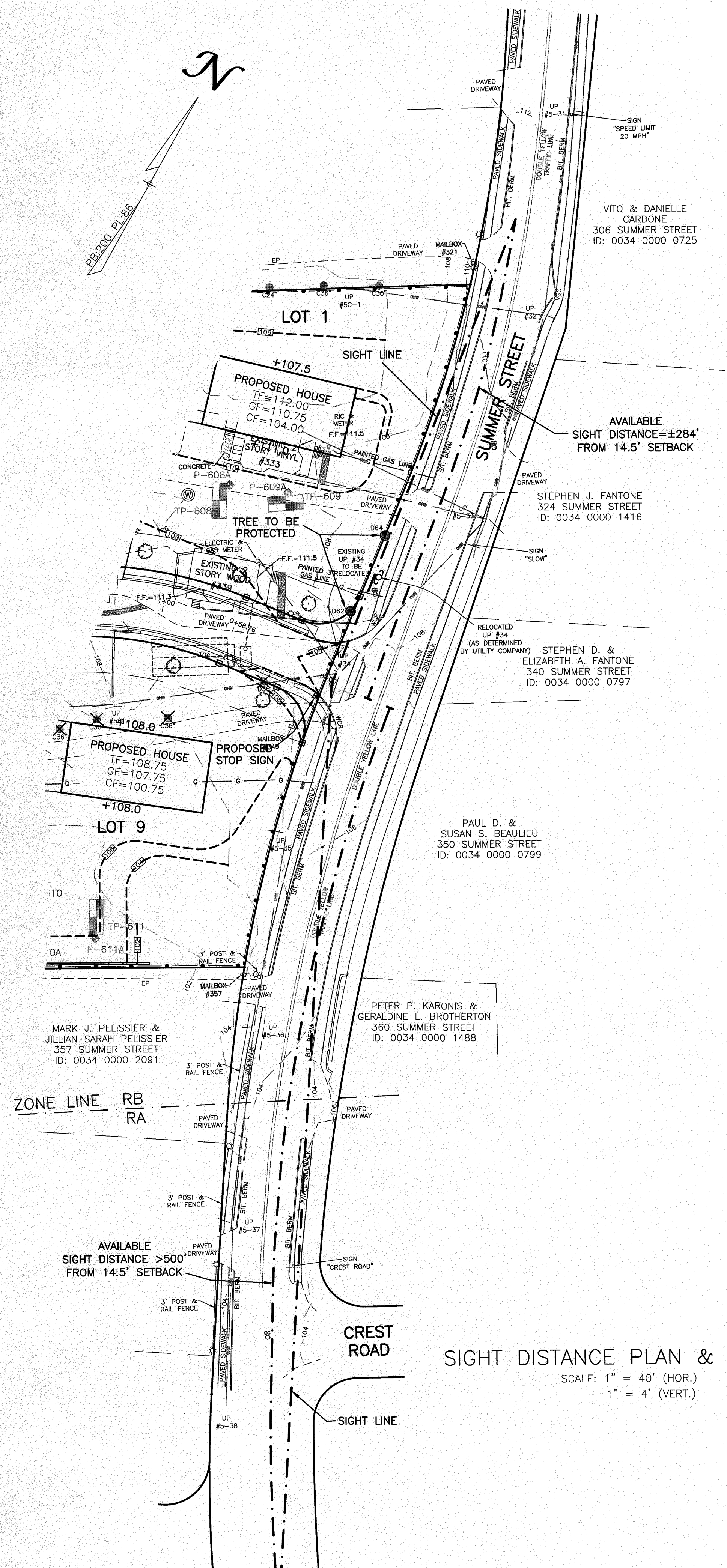
SCALE: 1"=40'(HOR) & 4'(VERT)

NOVEMBER 21, 2018



WILLIAMS & SPARAGES
 ENGINEERS & PLANNERS
 189 NORTH MAIN STREET
 SUITE 101
 MIDDLETON, MA 01949
 PHONE: (978) 539-8088
 FAX: (978) 539-8200
 WSENGINEERS.COM

PROFILE SHEET 1 OF 1
SHEET 4 OF 11



BENCHMARKS: (N.A.V.D. 88)

- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
- #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

REQUESTED SHEET WAIVERS:

- 1. SECTION 6.4.D.(2) WAIVE REQUIREMENT TO SHOW CONTOURS AT 1' INTERVALS (2' INTERVALS WITH INDEX CONTOURS ARE SHOWN).
- 2. SECTION 6.4.D.(8) WAIVE REQUIREMENT TO SHOW TOP AND BOTTOM OF CURB GRADES.
- 3. SECTION 6.4.D.(11) WAIVE REQUIREMENT TO SHOW INSERT OF THE DETENTION BASIN AS THE INSERT OF THE DETENTION BASIN IS SHOWN ON DETAIL SHEET 3 OF 3

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC

CLERKS CERTIFICATION ON THE PLAN

DATE: _____
I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

LYNNFIELD PLANNING BOARD

DATE: _____

ZONING DISTRICT: RB

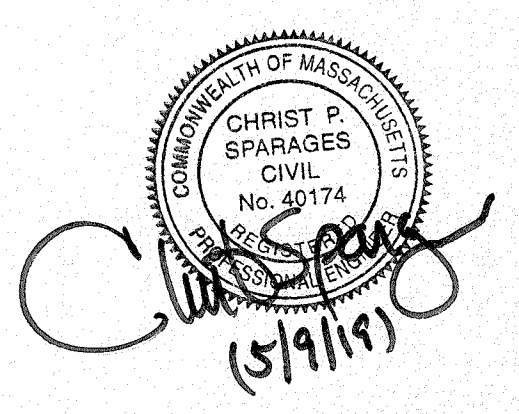
MINIMUM LOT AREA = 30,000 S.F.
MINIMUM LOT FRONTAGE = 150 FEET
FRONT YARD SETBACK = 40 FEET
(OR 60 FROM STREET CENTER LINE)
SIDE YARD SETBACK = 20 FEET
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

OWNERS:

- JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015
- STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027
- JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 8466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

- PLAN NOTES:**
- 1. ALL CLEARING, EXCAVATING AND FILLING WILL BE IN ACCORDANCE WITH CHAPTER 375 SECTION 7.5 AND 8.2.1.
 - 2. REFER TO GENERAL NOTES SHOWN ON THE COVER SHEET.

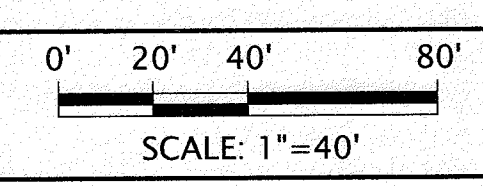
6		
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1	TOWN COMMENTS/PEER REVIEW	5/9/2019

DEFINITIVE TOPOGRAPHIC PLAN
ROAD A
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

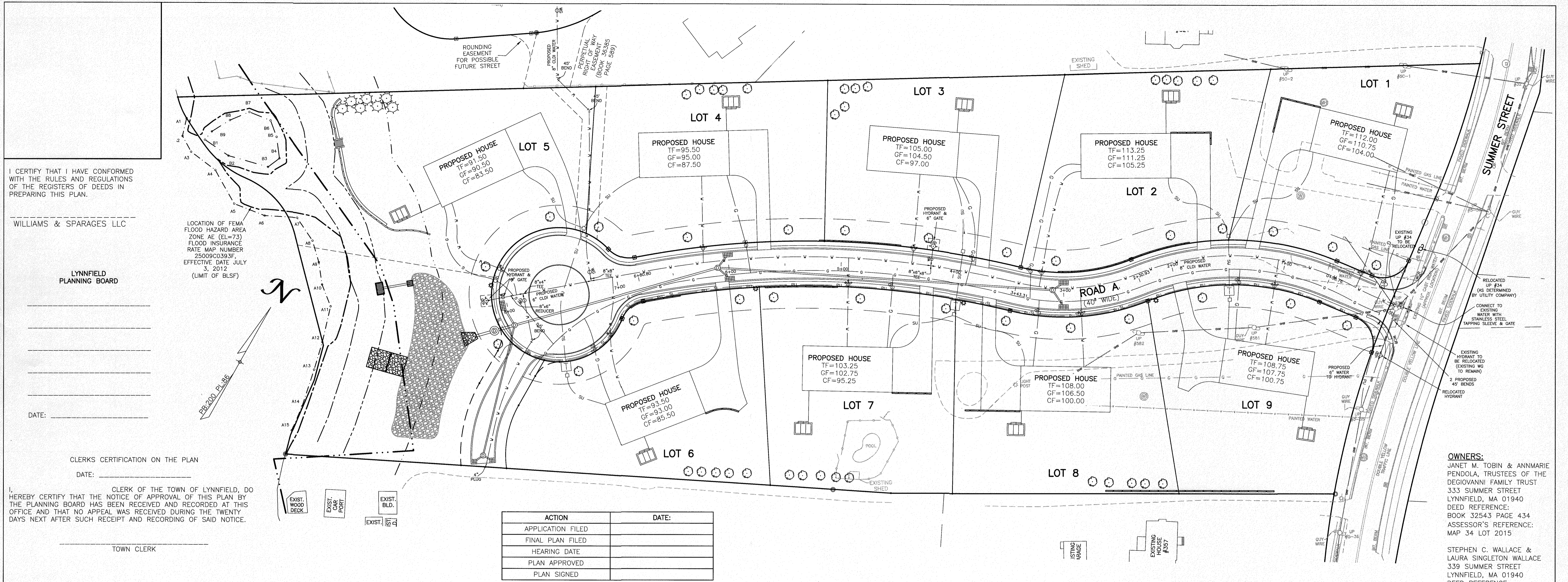
OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

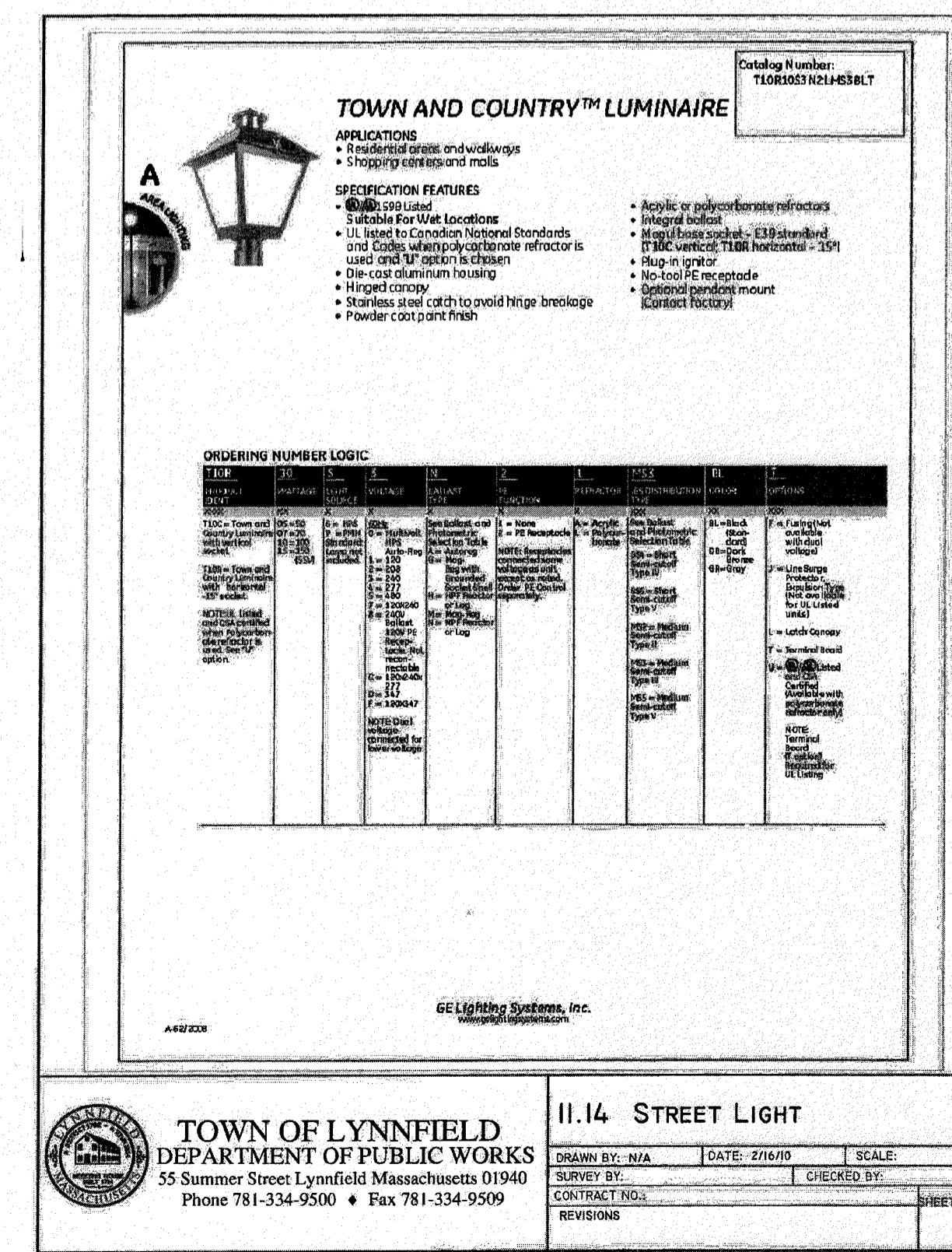
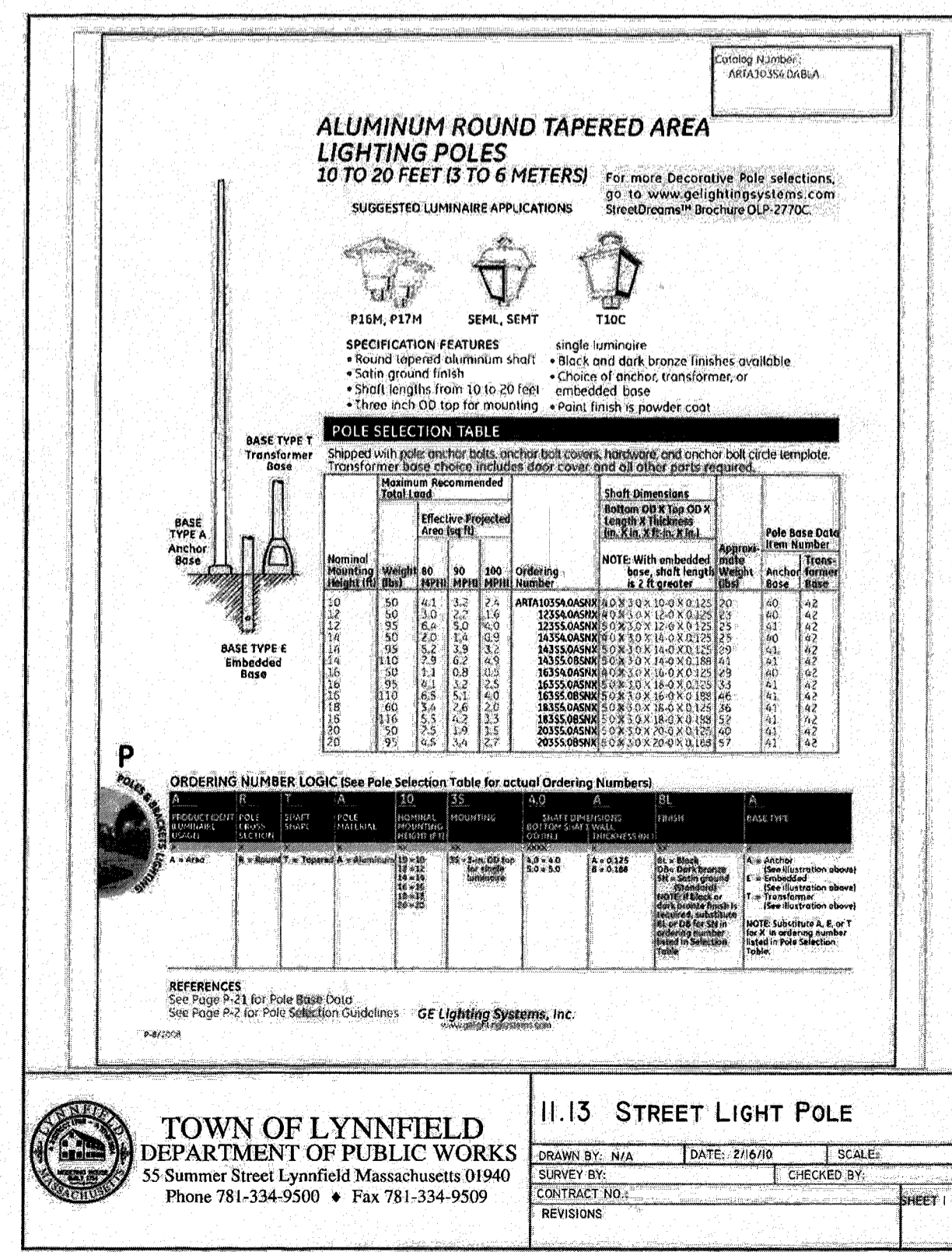
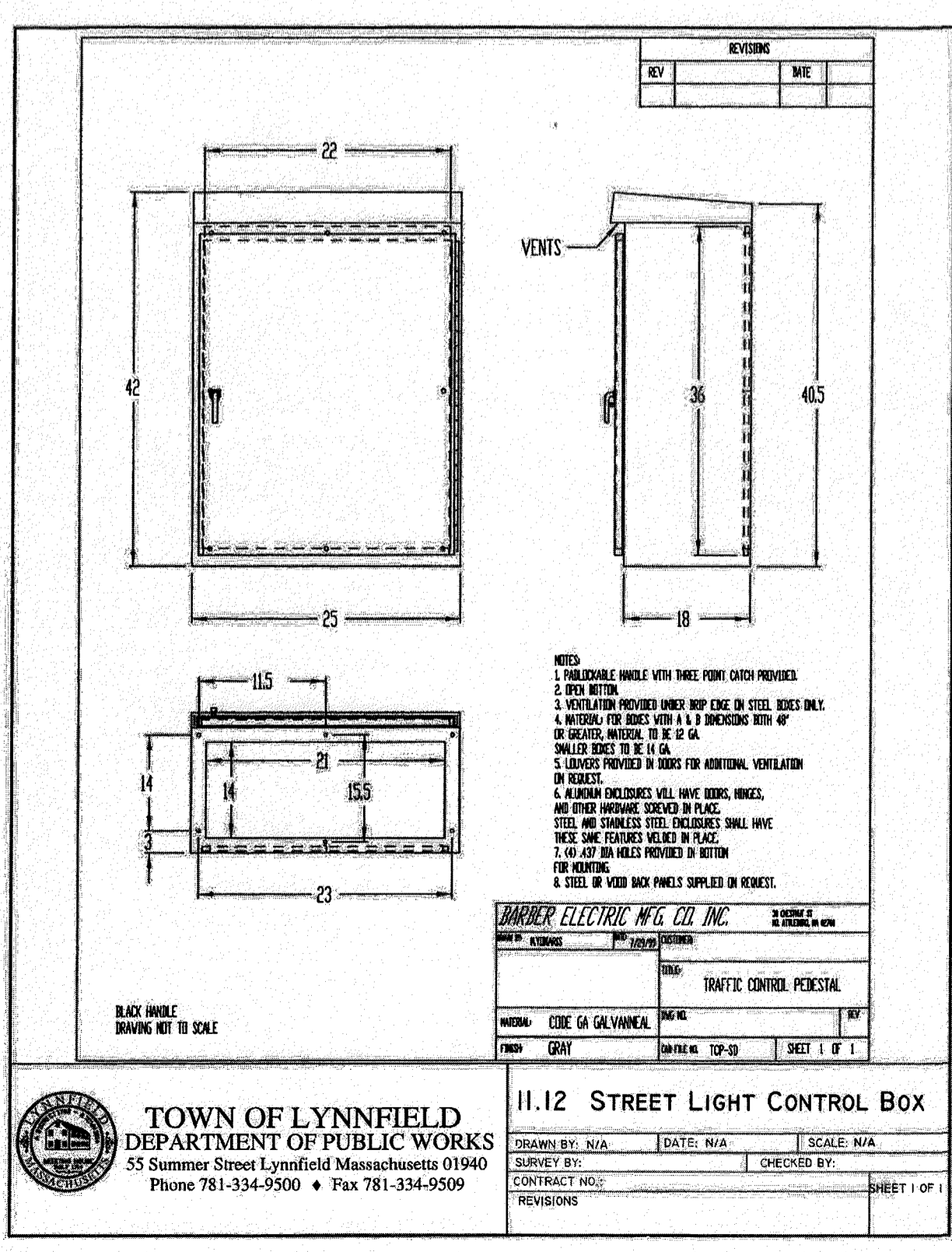
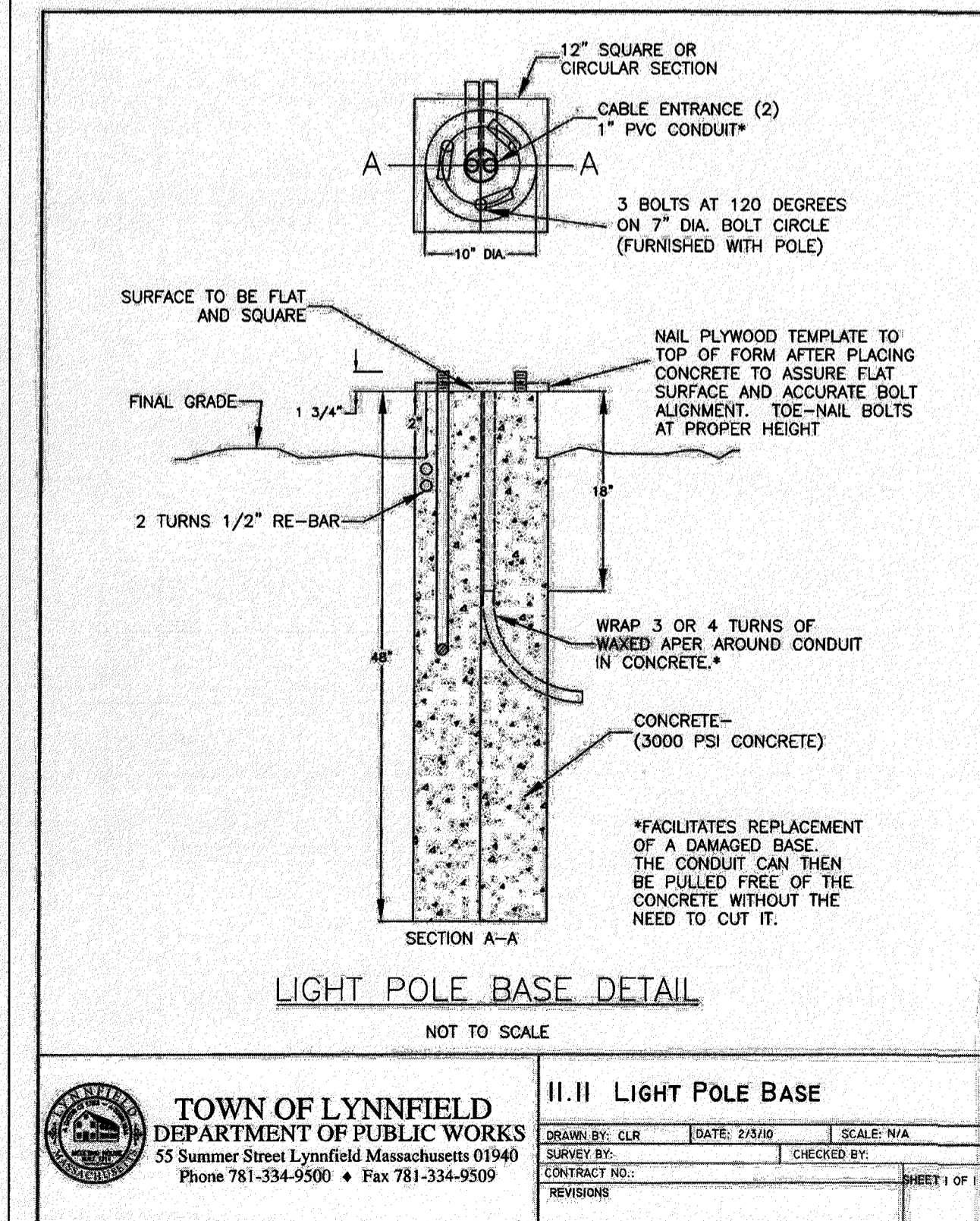


NOVEMBER 21, 2018

TOPO SHEET 2 OF 2
SHEET 6 OF 11



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	



DEFINITIVE STREET LIGHTING PLAN ROAD A LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HFI, LLC
 23 STILES ROAD - SUITE 104 SALEM, NH 03079

OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

TOWN COMMENTS/PEER REVIEW 5/9/2019

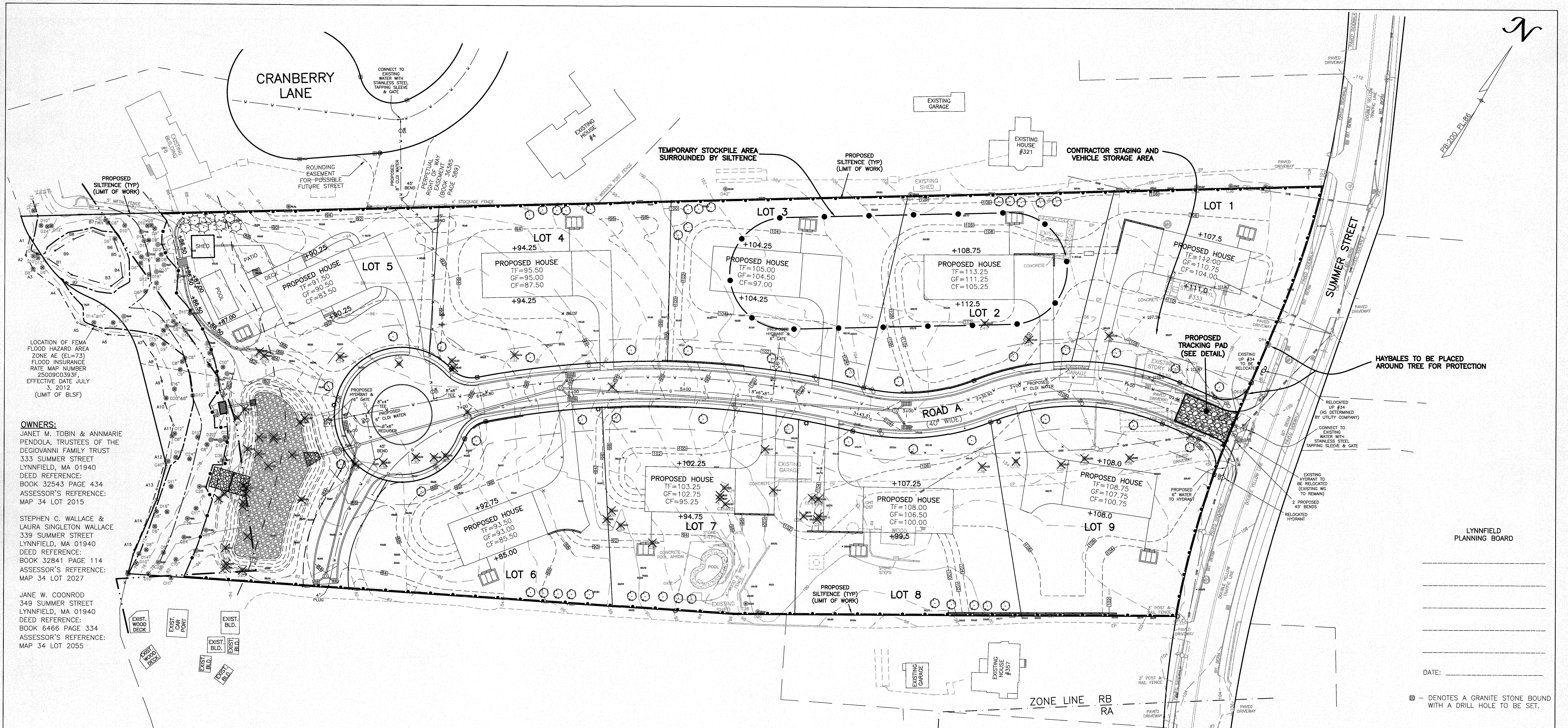
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NOVEMBER 21, 2018

WILLIAMS & SPARGES
 ENGINEERS, PLANNERS & SURVEYORS
 100 NORTH MAIN STREET SUITE 101 MIDDLETON, MA 01940
 PHONE: (978) 539-8088 FAX: (978) 539-8200 WSENGINEERS.COM

LIGHTING SHEET 1 OF 1 SHEET 7 OF 11

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LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 250090393F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD
 349 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

LEGEND OF ABBREVIATIONS & SYMBOLS

EXISTING 2-FOOT CONTOUR	98
EXISTING 10-FOOT CONTOUR	100
EXISTING SPOT ELEVATION	
EDGE OF PAVEMENT	EP
BITUMINOUS BERM	BIT. BERM
VERTICAL GRANITE CURBING	VGC
STONE WALL	
OVERHEAD WIRE	
HYDRANT	
WATER GATE	
CATCH BASIN	
DRAIN MANHOLE	
DRAINAGE FLOW	
UTILITY POLE	
MANHOLE	
LIGHT POLE	
SIGN	
WETLAND FLAG	0A1
FIRST FLOOR ELEVATION	F.F.
DECIDUOUS TREE	
CONIFEROUS TREE	

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
 MINIMUM LOT FRONTAGE = 150 FEET
 FRONT YARD SETBACK = 40 FEET
 (OR 60 FROM STREET CENTER LINE)
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

CLERKS CERTIFICATION ON THE PLAN
 DATE: _____

CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

NOTES:

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD, MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- AREAS TO BE HYDROSEEDED SHALL BE REVIEWED WITH THE TOWN ENGINEER PRIOR TO APPLICATION.
- SILTSACKS SHALL BE PLACED IN ALL NEW CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION.
- THE CONTRACTOR SHALL NOTE THAT THERE IS A CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN, LONG-TERM POLLUTION PREVENTION PLAN, AND A STORMWATER POLLUTION PREVENTION PLAN UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.
- ALL DRAINAGE STRUCTURES AND PIPING SHALL BE CLEANED AFTER THE SITE IS STABILIZED.
- THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

6		
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3		
2		
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

DEFINITIVE EROSION AND SEDIMENT CONTROL PLAN
ROAD A
 LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE SHEET 1

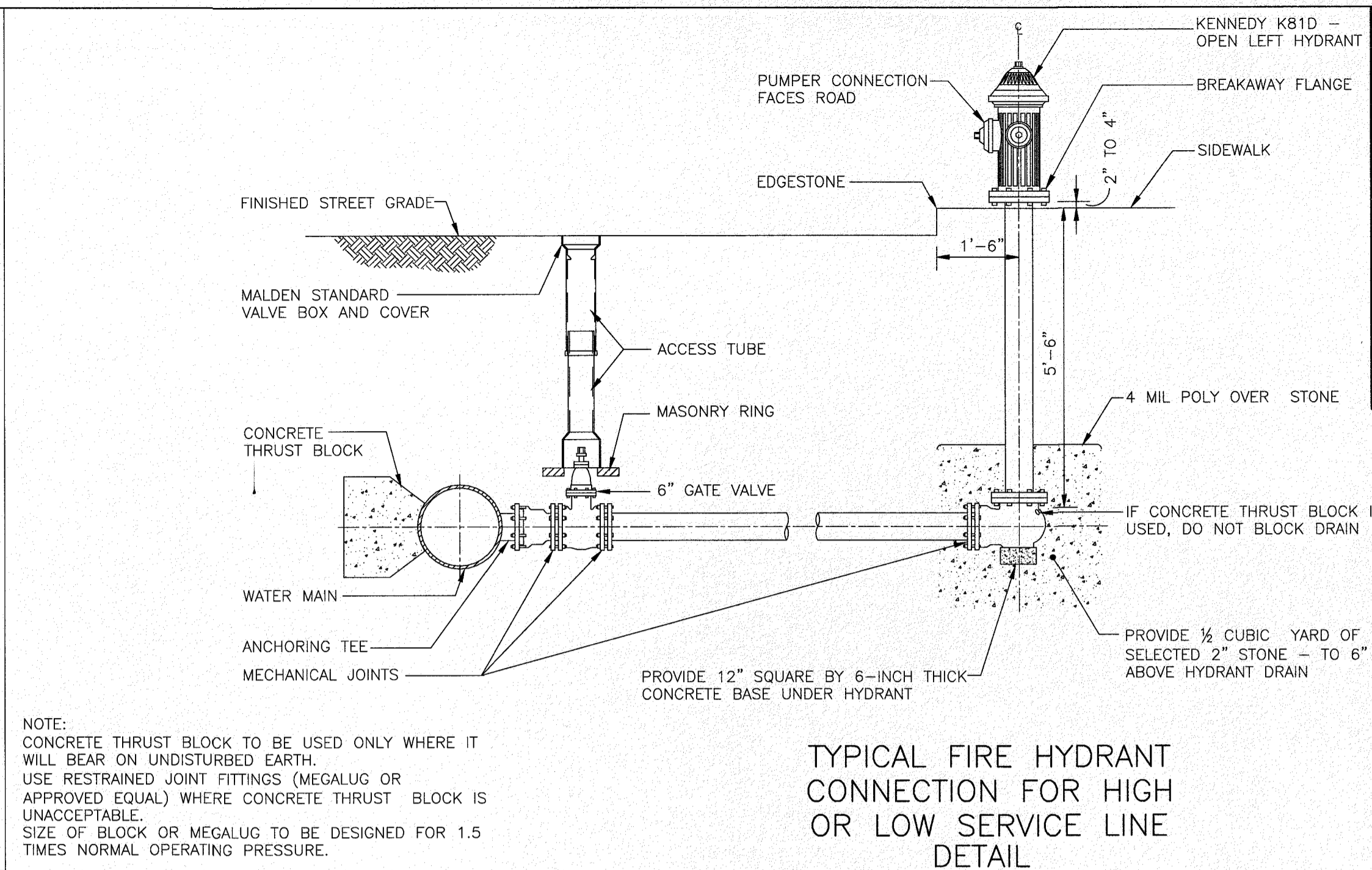
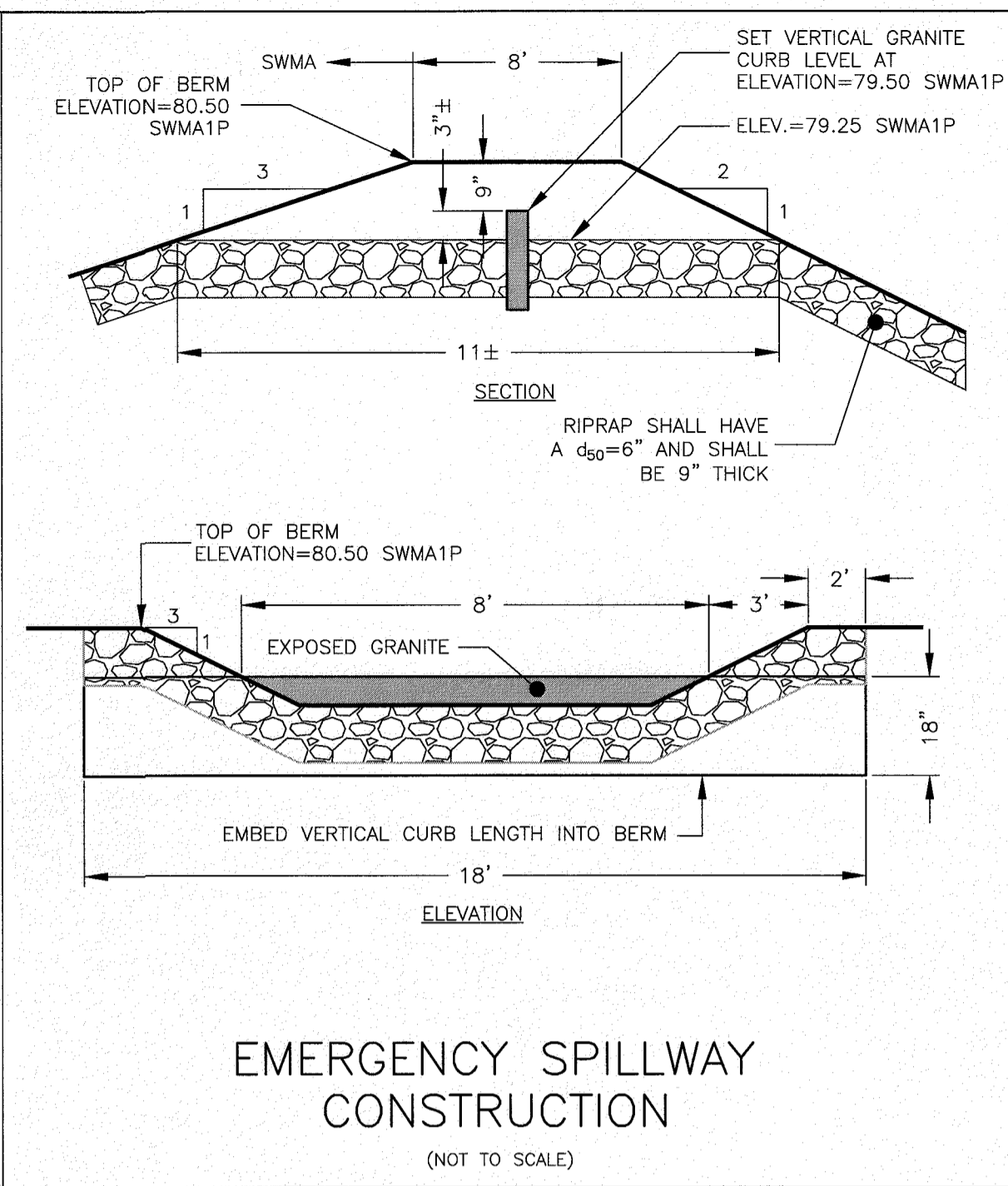
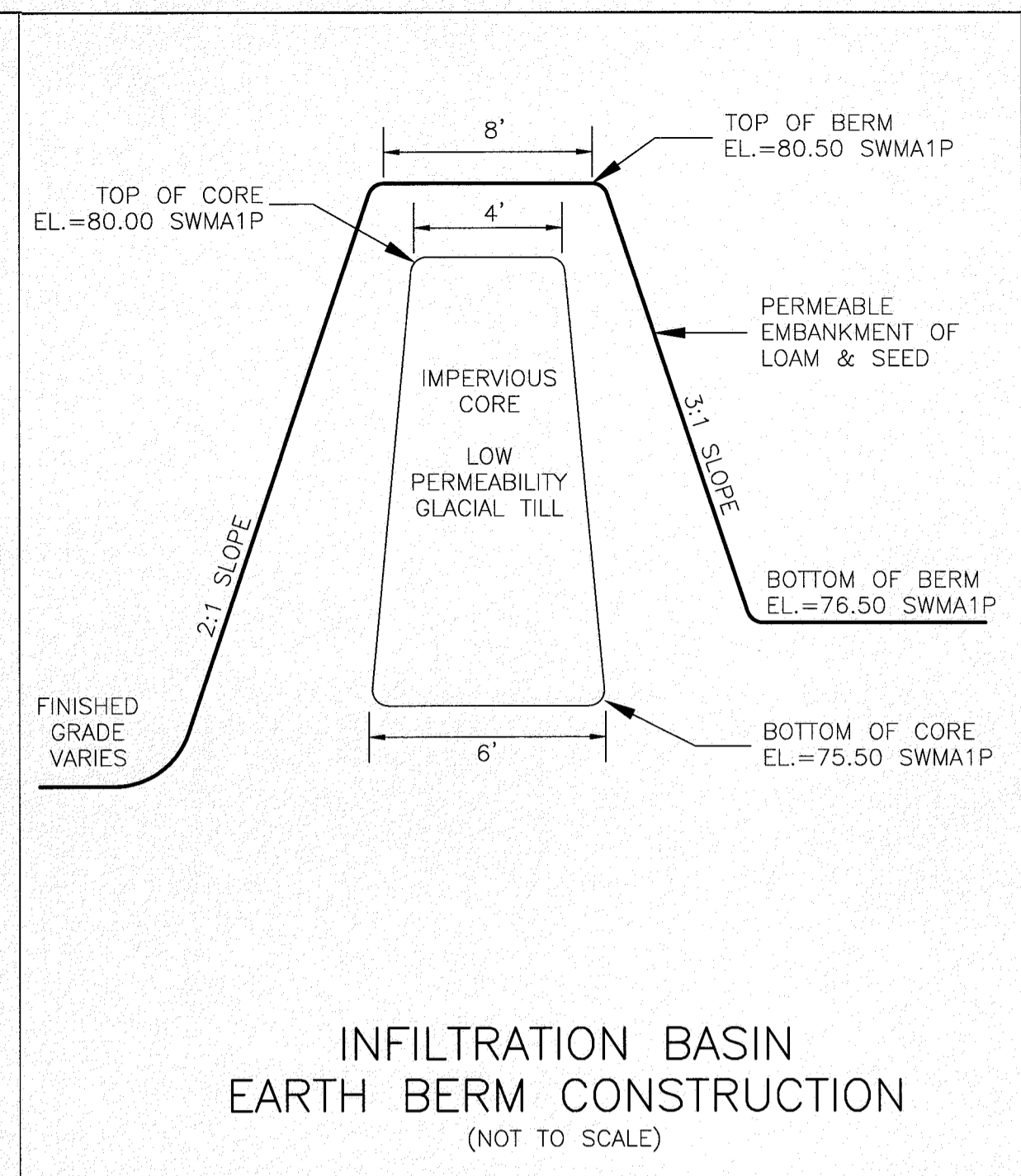
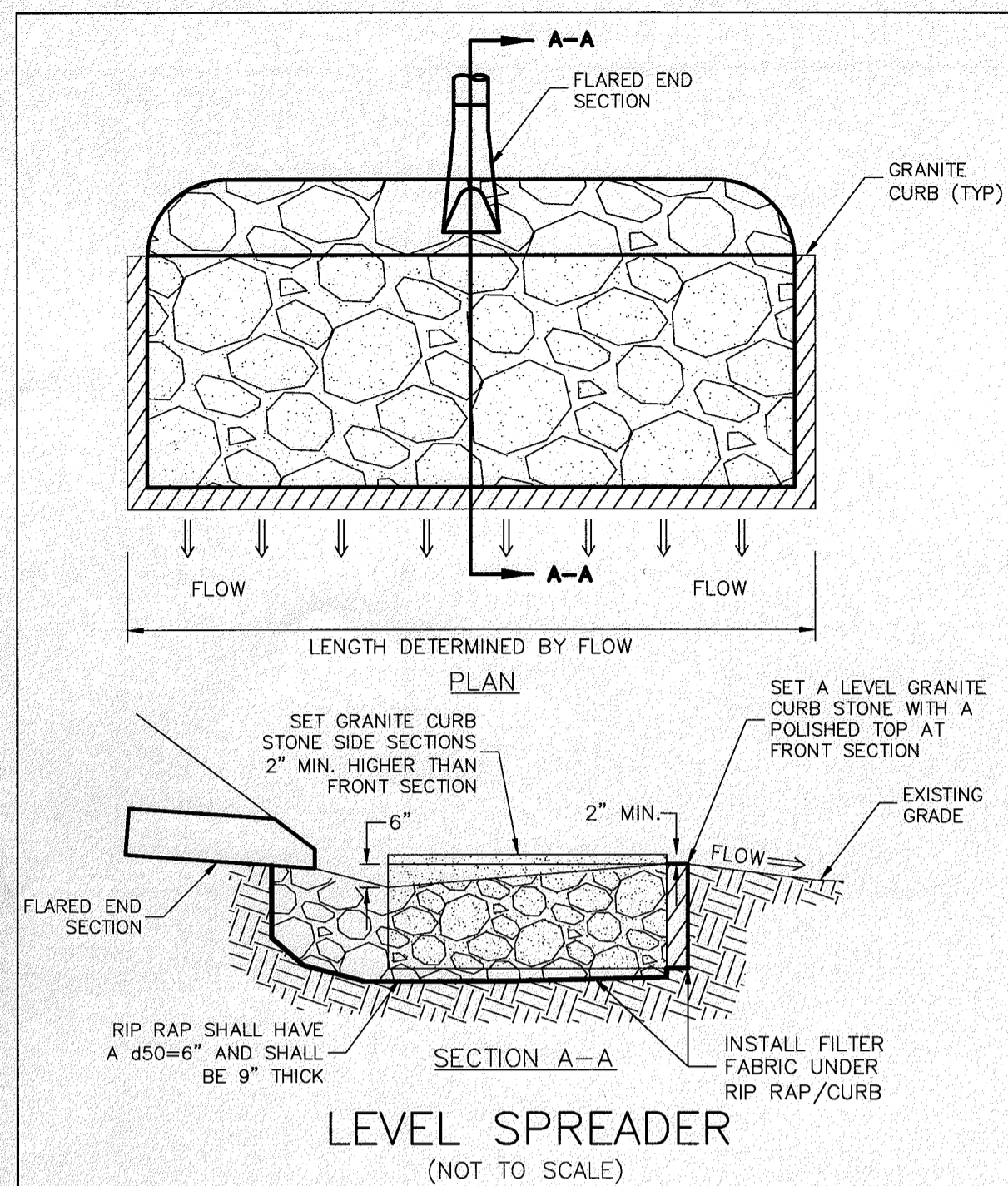
ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

SCALE: 1"=40'
 NOVEMBER 21, 2018



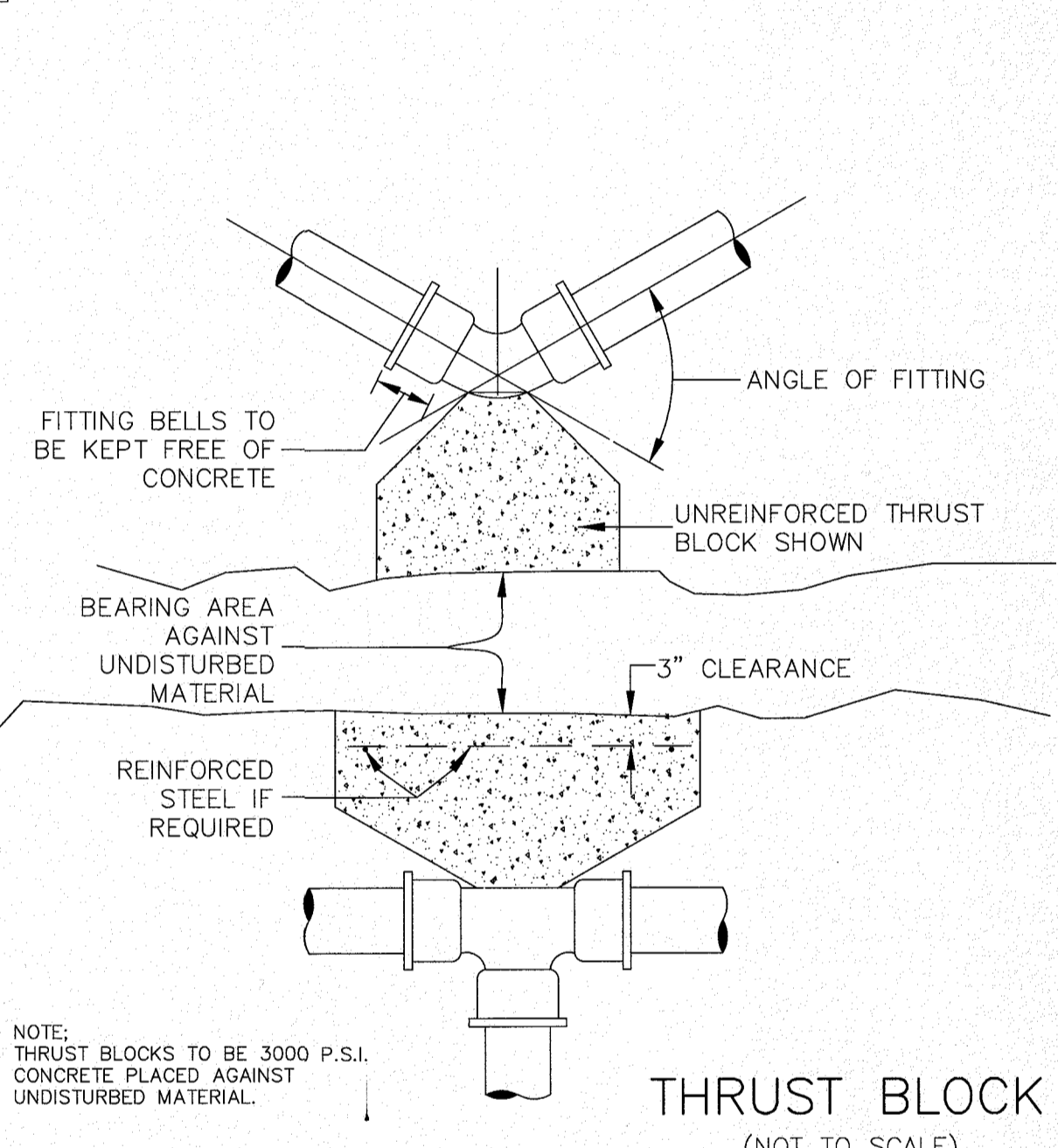
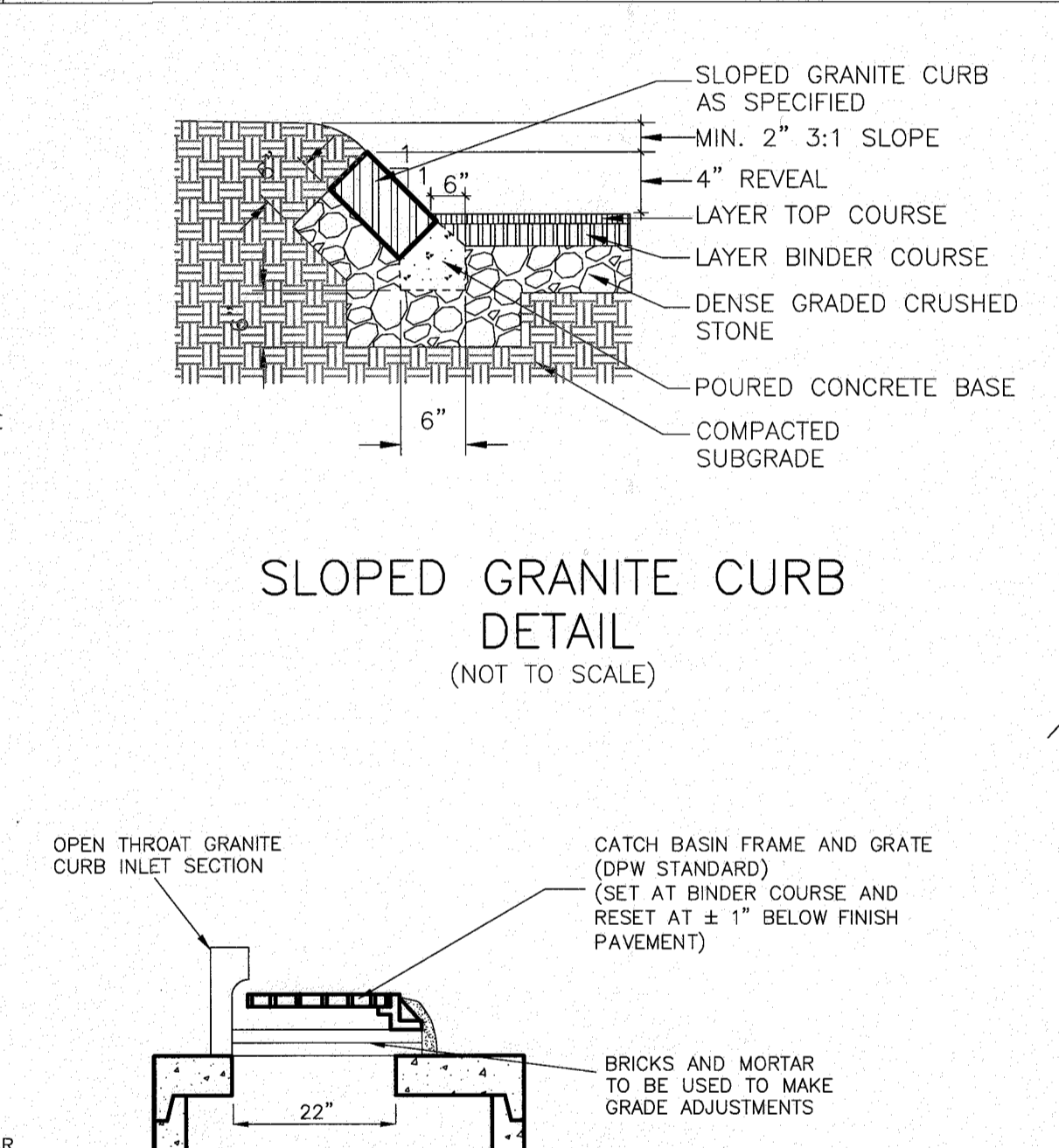
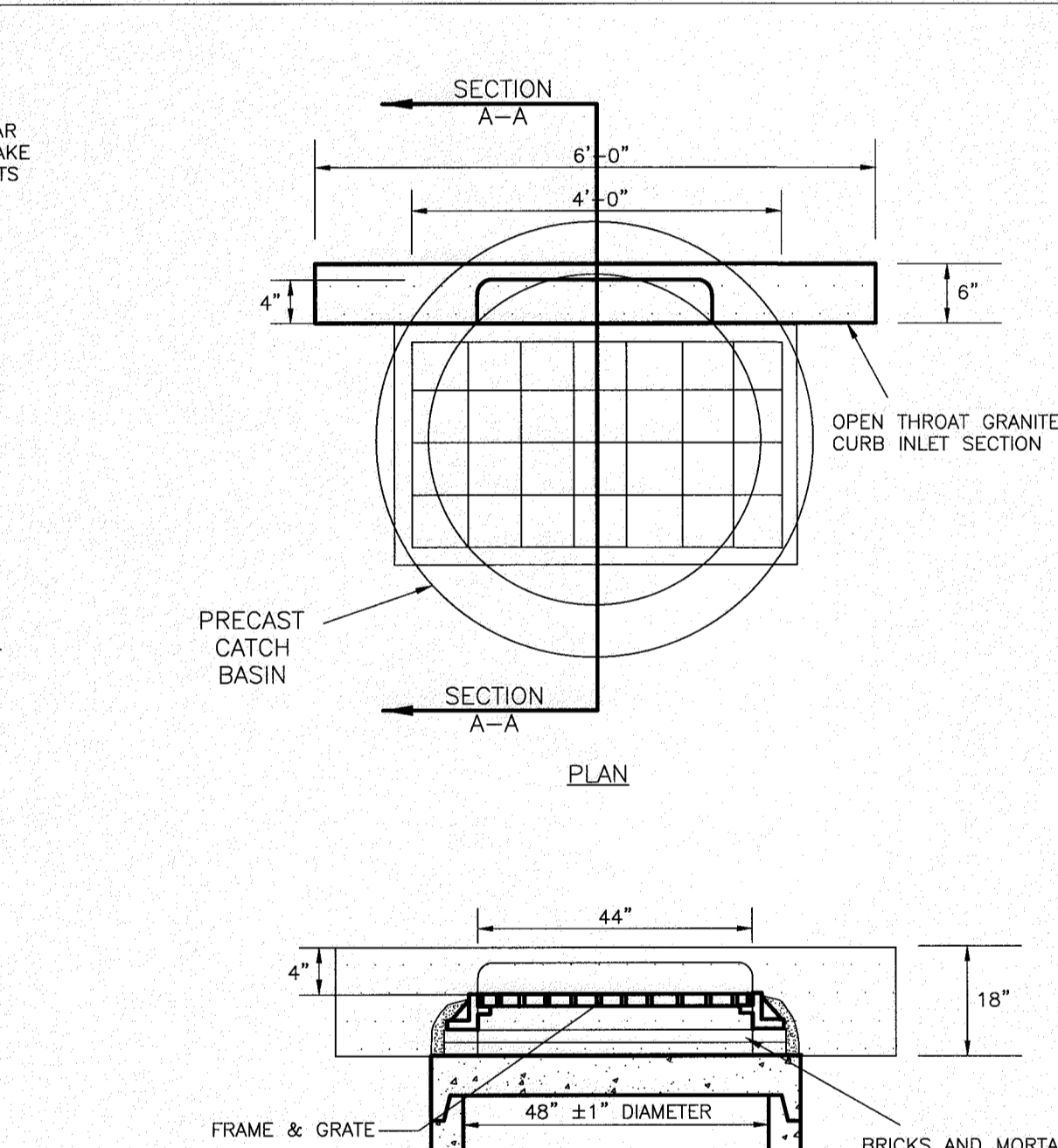
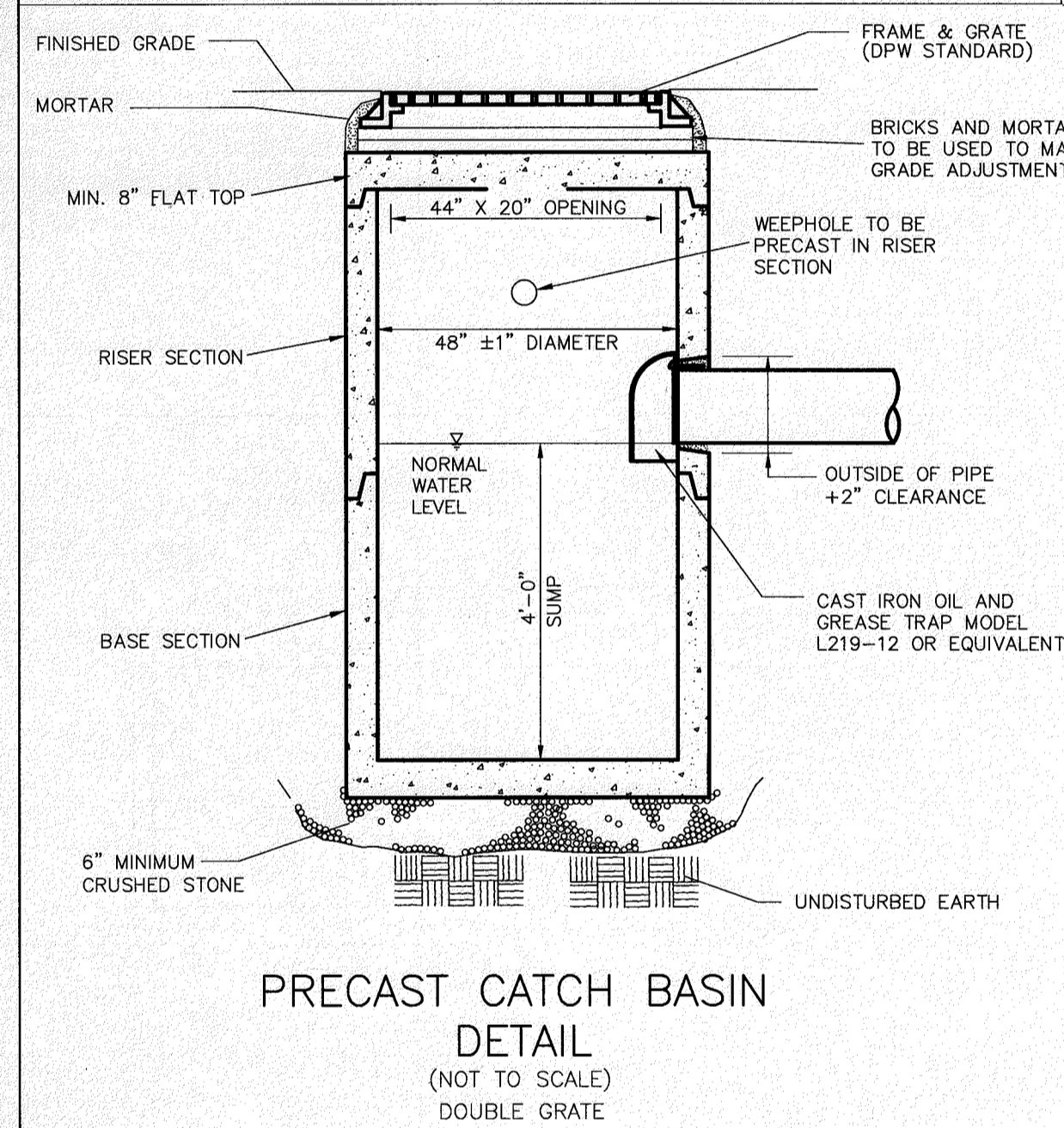
EROSION SHEET 1 OF 1
SHEET 8 OF 11

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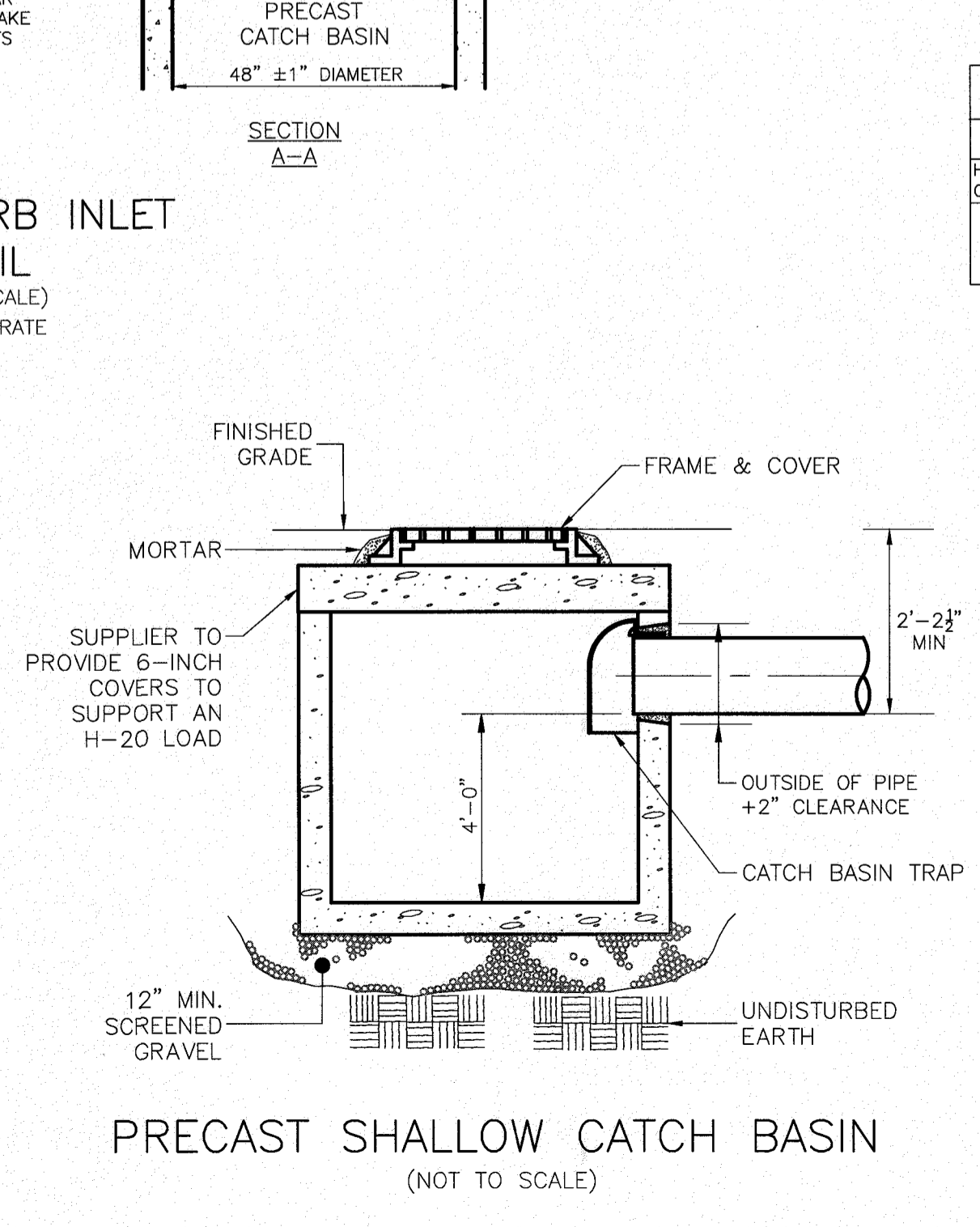
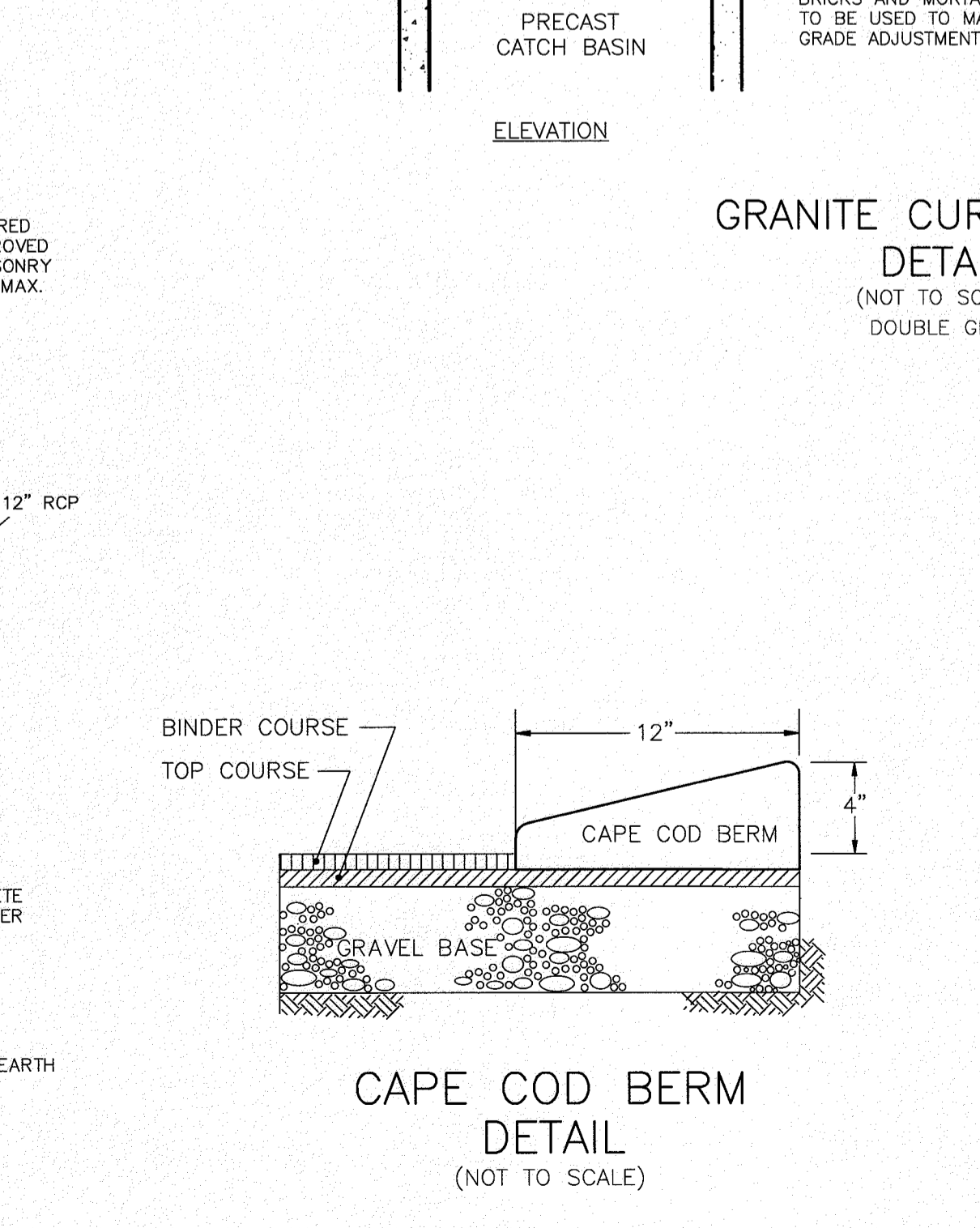
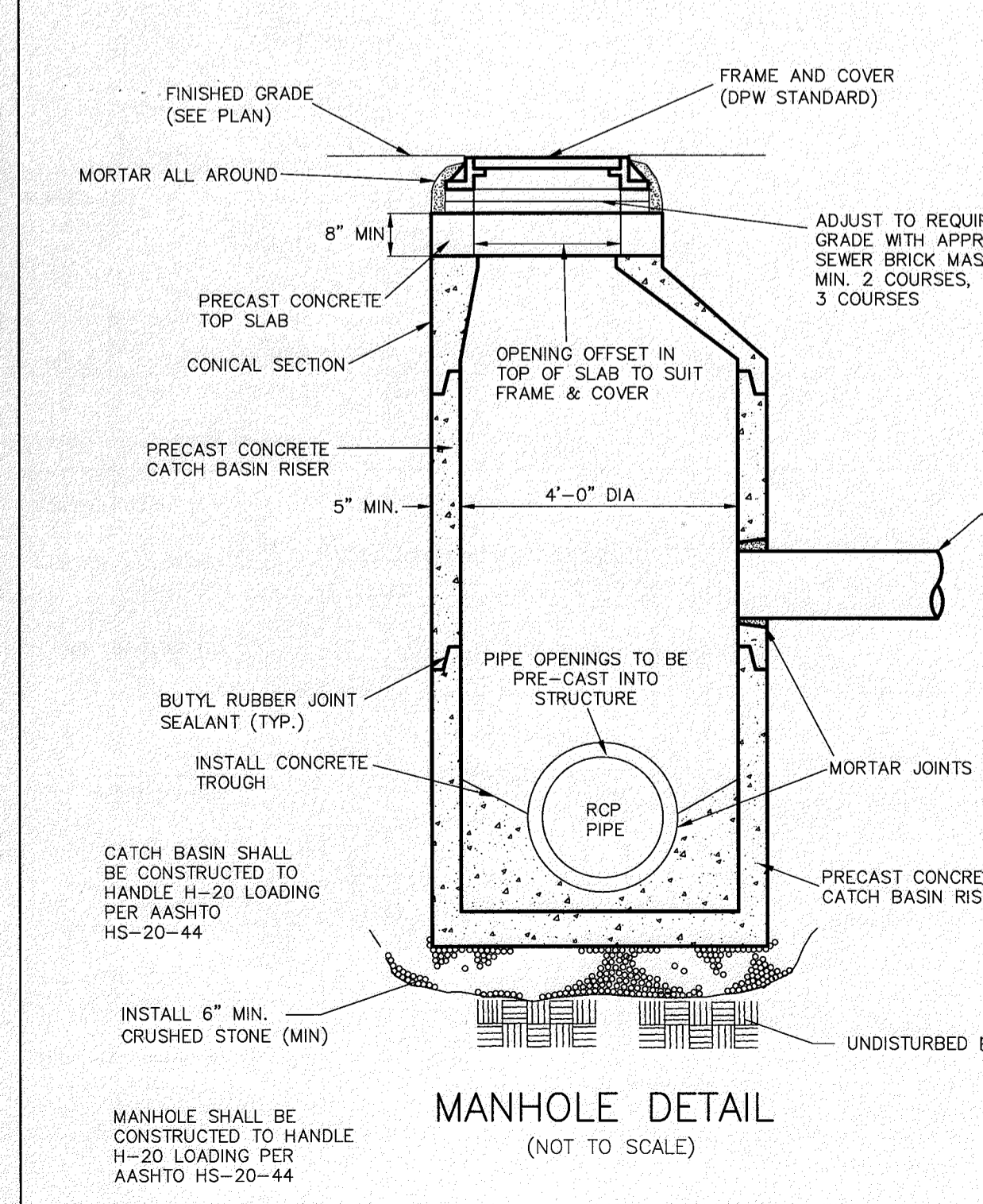
I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC



LYNNFIELD PLANNING BOARD

MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK				
PIPE DIAMETER INCHES	6 in.	8 in.	10 in.	12 in.
HYDRANTS, PLUGS, CAPS, AND TEES (S.F.)	4	6	9	13
90° (S.F.)	8	12	19	26
45° (S.F.)	5	8	13	18
22 1/2° (S.F.)	3	5	7	10



OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

JANE W. COONROD
 349 SUMMER STREET LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE: _____

DEFINITIVE CONSTRUCTION DETAILS ROAD A LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI, LLC
 23 STILES ROAD - SUITE 104 SALEM, NH 03079

OWNER:
 SEE SHEET

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

SCALE: AS SHOWN

NOVEMBER 21, 2018

DETAIL SHEET 1 OF 3 SHEET 9 OF 11

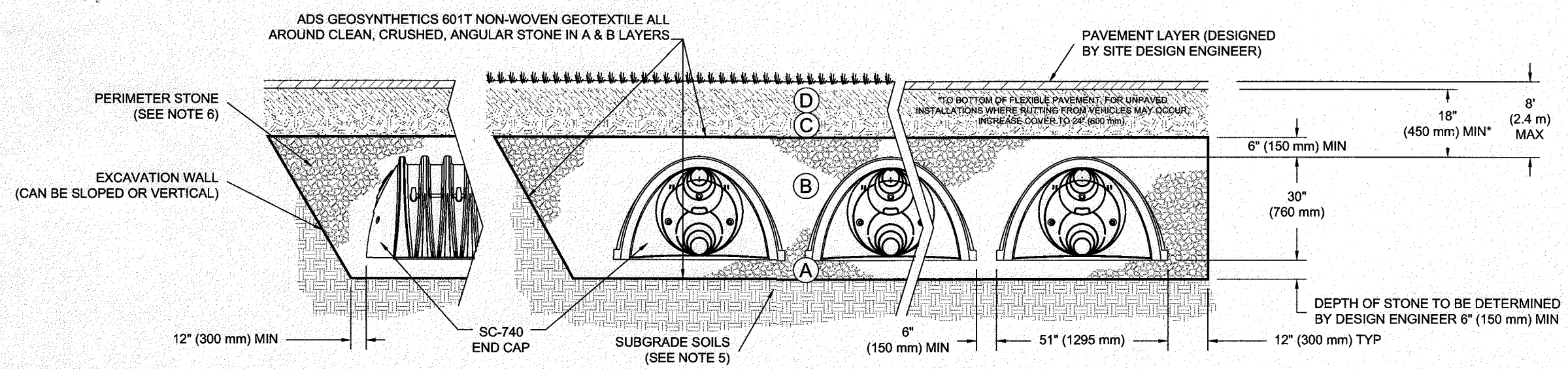
W & SPARAGES
 SUITE 101 MIDDLETON, MA 01949
 PHONE: (978) 539-8088
 FAX: (978) 539-8200
 WSPENGINEERS.COM

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ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{3,4}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

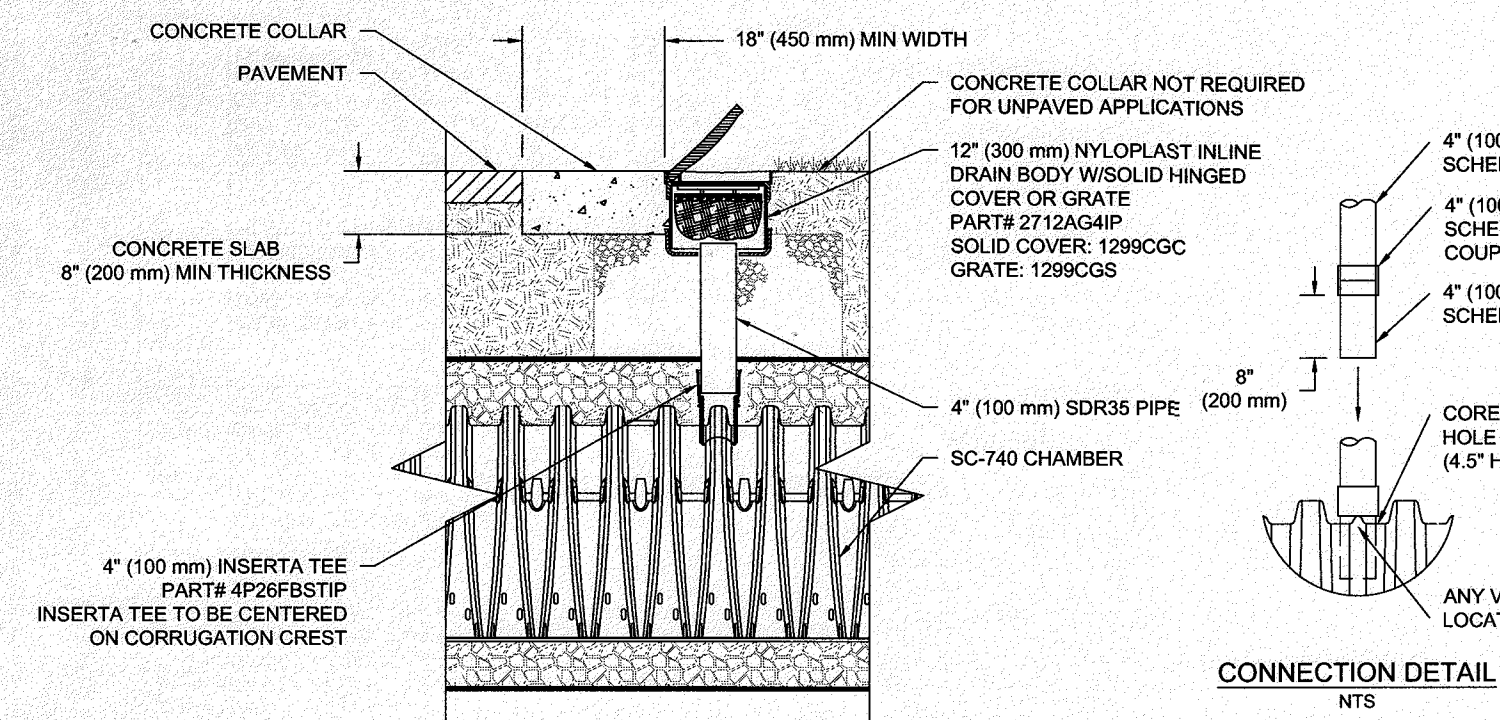


NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2422 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F278 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVED SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION

(NOT TO SCALE)

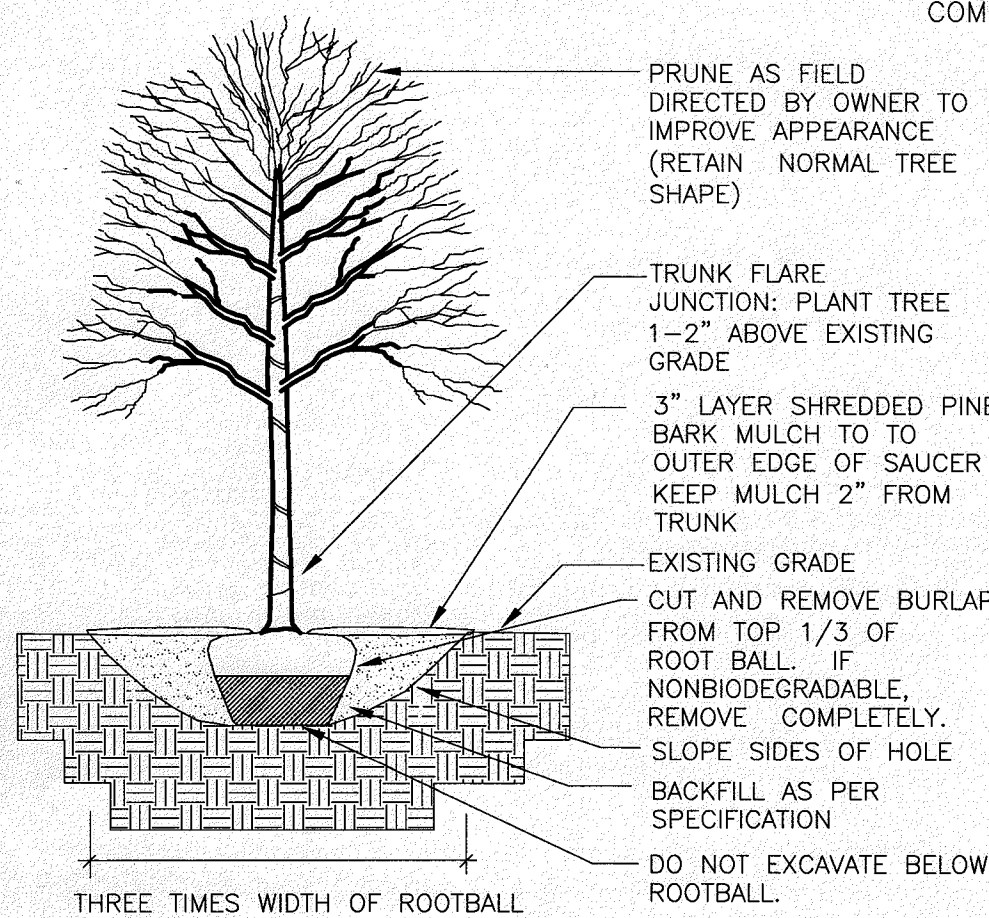


STORMTECH INSTALLATION NOTES FOR ROOF TOP RUNOFF:

- NO CONSTRUCTION EQUIPMENT TO BE DRIVEN OVER BOTTOM OF CHAMBER EXCAVATION.
- EXCAVATION TO BE FREE OF SILT AND SHALL BE INSPECTED BY DESIGN ENGINEER.
- CARE SHALL BE TAKEN TO PROTECT THE STONE FROM SILT AND OTHER CONTAMINANTS UNTIL THE INSTALLATION IS COMPLETE.
- BASE STONE WITH CHAMBERS AND FILTER FABRIC TO BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
- PHOTOGRAPHS OF EACH STEP OF THE INSTALLATION TO BE PROVIDED AFTER THE INSTALLATION IS COMPLETE.

INSPECTION PORT

(NOT TO SCALE)



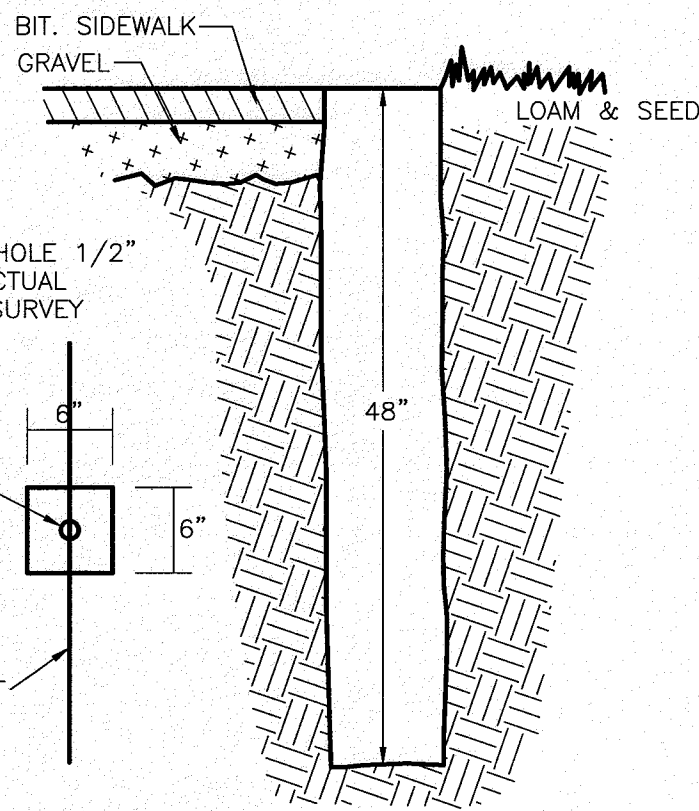
DECIDUOUS TREE PLANTING DETAIL

(NOT TO SCALE)

ALL TREES TO HAVE A MINIMUM DBH (DIAMETER AT BREAST HEIGHT) OF 3". TYPE OF TREE TO BE DETERMINED BY LYNNFIELD'S TREE WARDEN. THERE ARE TO BE THREE STREET TREES PER LOT.

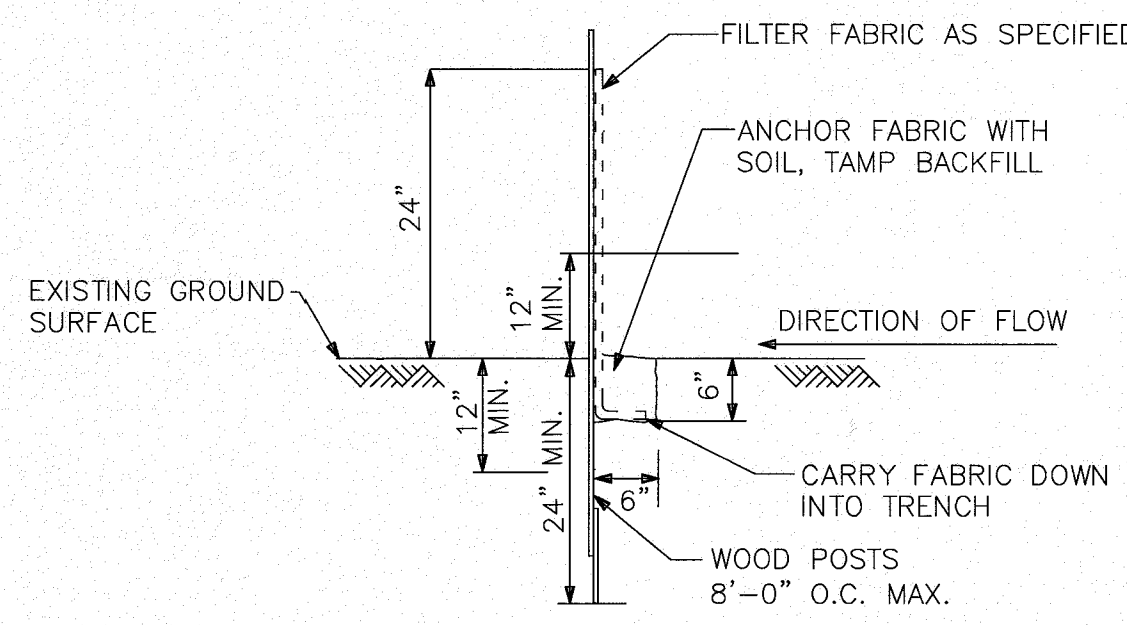
GRANITE BOUND DETAIL

(NOT TO SCALE)



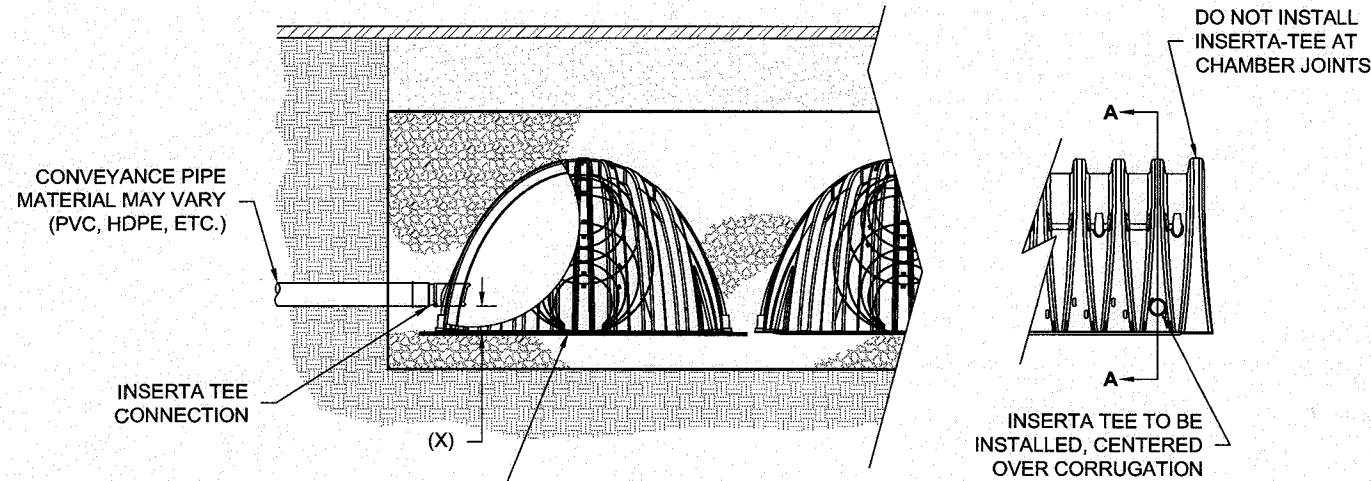
SILT FENCE WITH MULCH SOCK DETAIL

(NOT TO SCALE)



STORMTECH SC-740 TECHNICAL SPECIFICATIONS

(NOT TO SCALE)

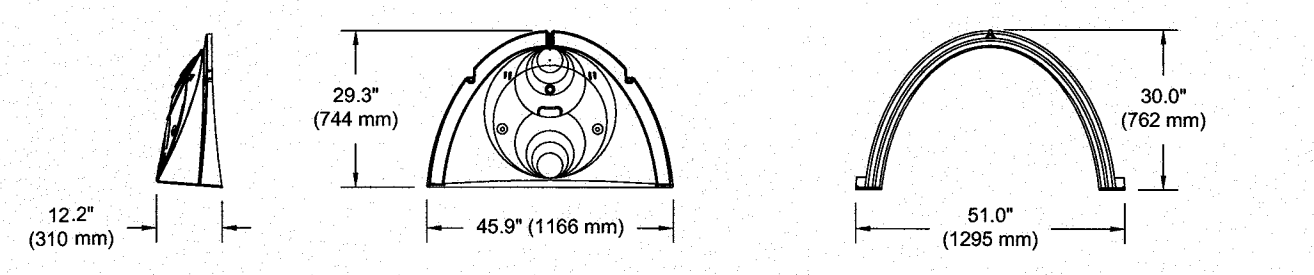
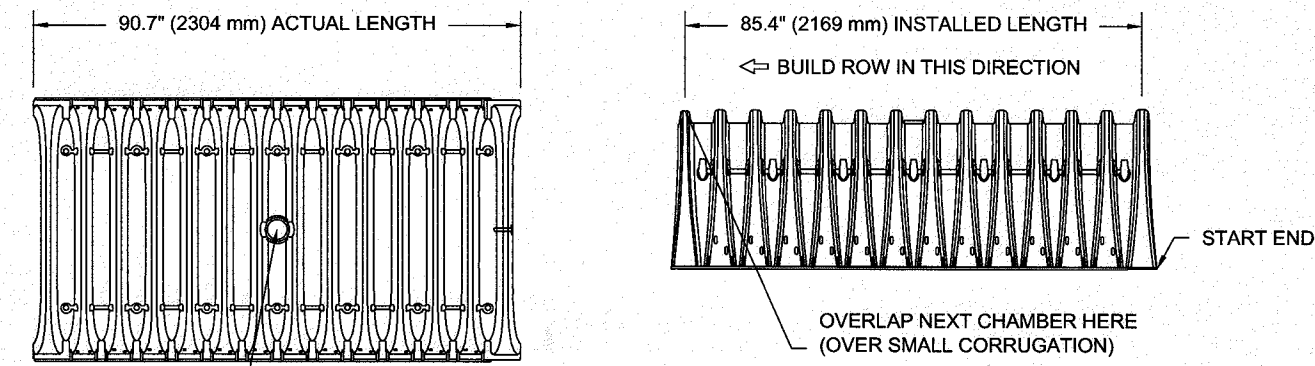
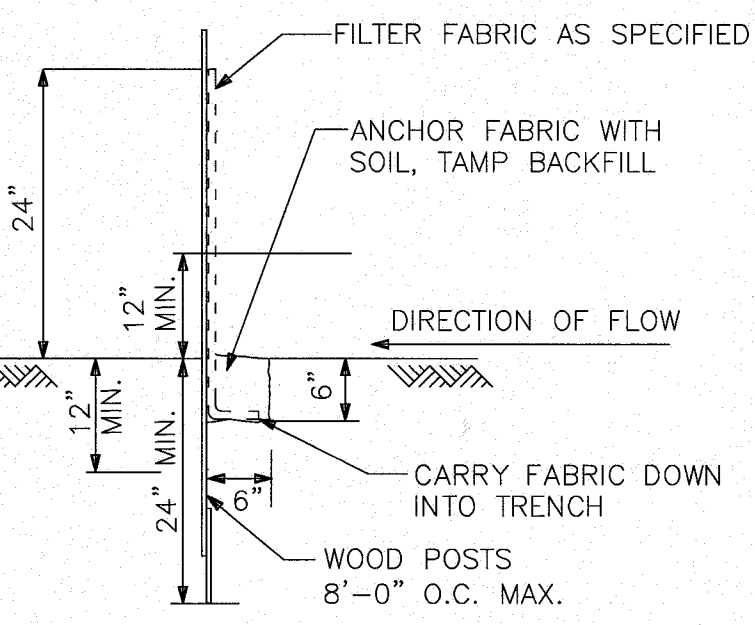


CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (A)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 28, SDR 35, SCH 40 IPS GASKETED & SOLVENT WELD, N-12, HP STORM, C-300 OR DUCTILE IRON

INSERTA TEE DETAIL

(NOT TO SCALE)



NOMINAL CHAMBER SPECIFICATIONS
SIZE (W X H X INSTALLED LENGTH) 51.0" X 30.0" X 85.4" (1300 mm)
CHAMBER STORAGE 45.3 CUBIC FEET (1280 L)
MINIMUM INSTALLED STORAGE* 74.9 CUBIC FEET (2120 L)
WEIGHT 75.0 lbs. (33.6 kg)

*ASSUMES 4" (100 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

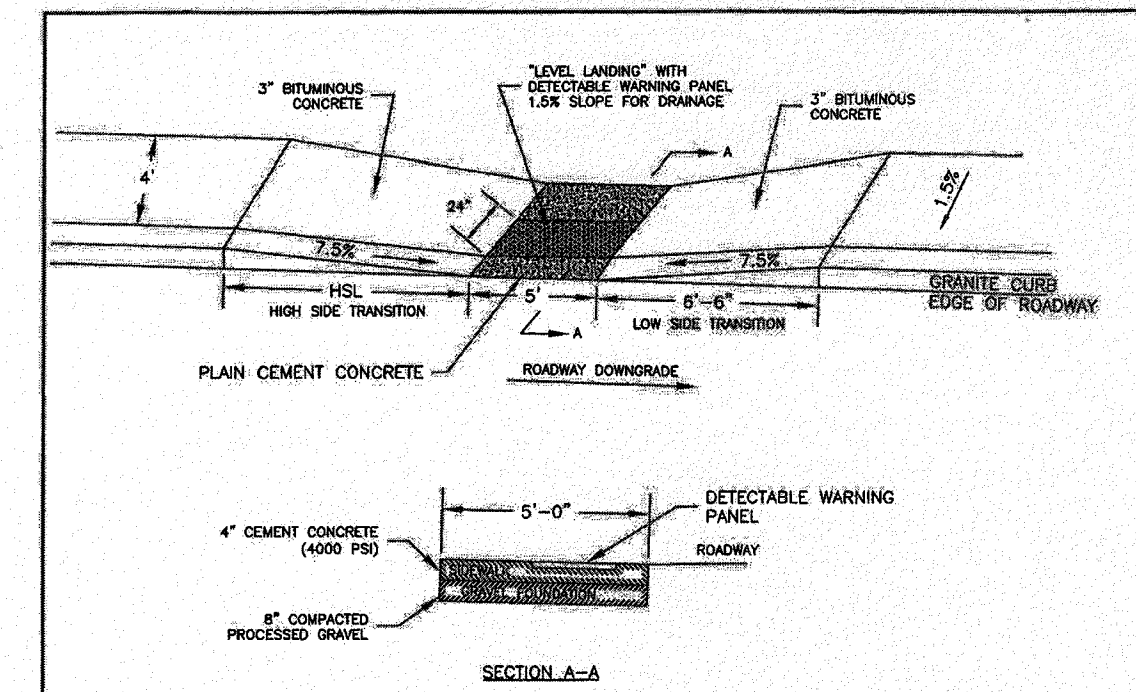
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EPE001 / SC740EPE001PC	8" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE006 / SC740EPE006PC	8" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE008 / SC740EPE008PC	8" (150 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740EPE107 / SC740EPE107PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE109 / SC740EPE109PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EPE127 / SC740EPE127PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.5" (13 mm)
SC740EPE128 / SC740EPE128PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.5" (13 mm)
SC740EPE157 / SC740EPE157PC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	0.5" (13 mm)
SC740EPE188 / SC740EPE188PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EPE189 / SC740EPE189PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EPE248	24" (600 mm)	18.5" (470 mm)	0.1" (3 mm)	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EPE248 ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-952-2884.

* FOR THE SC740EPE248 THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL



- NOTES:
- HSL = HIGH SIDE TRANSITION LENGTH (SEE M/E 107.9.0)
 - TOLERANCE FOR CONSTRUCTION IS +/- 0.5%
 - DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.875" A HEIGHT OF NOMINAL 0.2" AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" AND SHALL BE BRICK RED.
 - ALL WHEEL-CHAIR RAMPS SHALL COMPLY WITH JULY 1, 1994 ADA STANDARDS FOR ACCESSIBLE DESIGN OR MOST RECENT EDITION, MASS HIGHWAY ENGINEERING DIRECTIVE M/E 107.2.1R AND M/E 107.8.5R, AND SECTION 701 OF THE 1995 MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (OR MOST RECENT EDITION).

CONCRETE WHEEL-CHAIR RAMPS WITH DETECTABLE WARNING PANEL

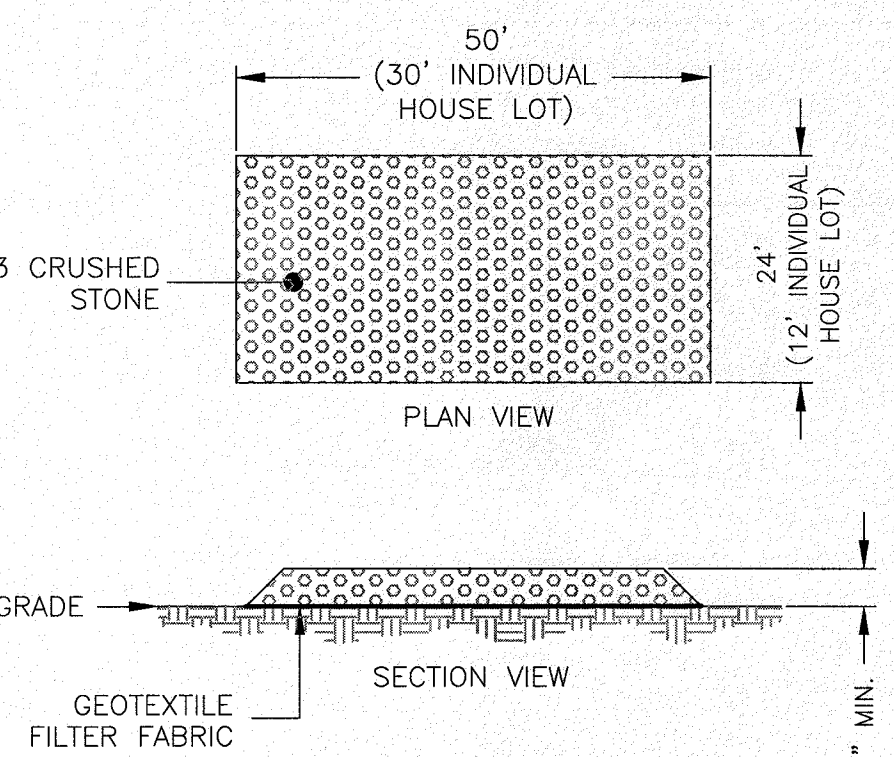
NOT TO SCALE

TOWN OF LYNNFIELD DEPARTMENT OF PUBLIC WORKS
55 Summer Street Lynnfield Massachusetts 01940
Phone 781-334-9500 • Fax 781-334-9509

11.10 WHEEL-CHAIR RAMP DETAIL

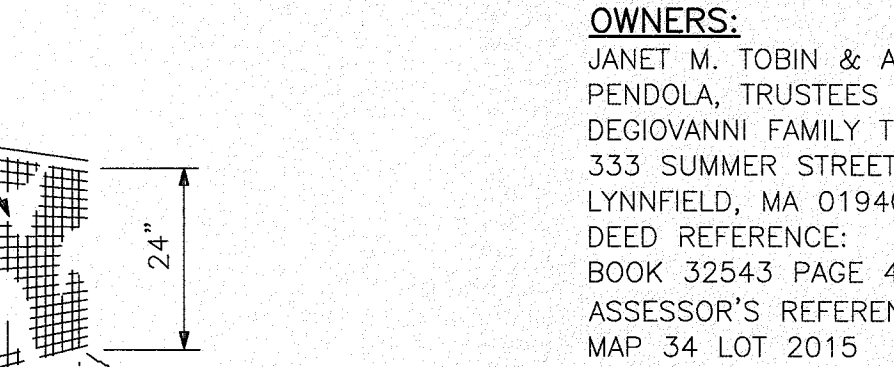
DESIGNED BY: CLP DATE: 2/14/19 SCALE: N/A
SURVEY BY: DATE: CHECKED BY:
CONTRACT NO: DRAWING NO: SHEET 1 OF 1

LYNNFIELD PLANNING BOARD



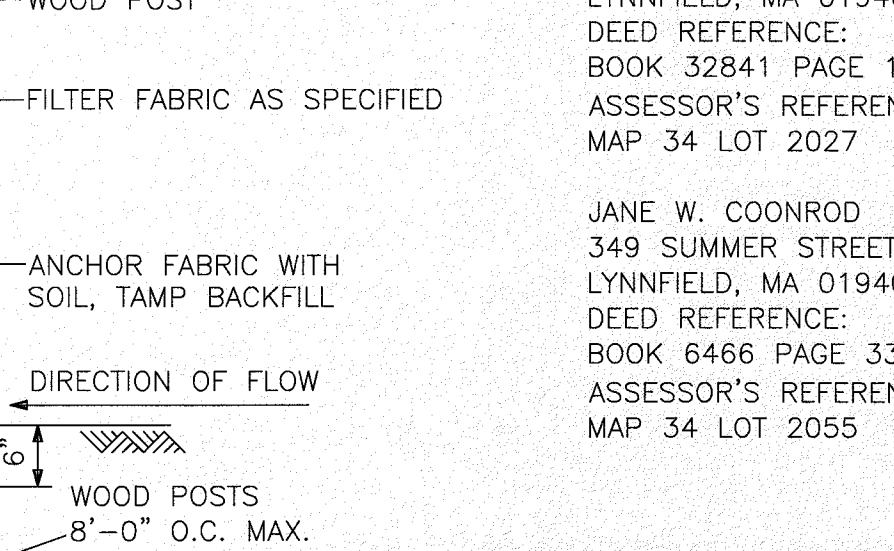
TRACKING PAD

(NOT TO SCALE)



SILT FENCE

(NOT TO SCALE)



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

LYNNFIELD PLANNING BOARD

DATE: _____

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

TOWN COMMENTS/PEER REVIEW	5/9/2019
6	
5	
4	
3	
2	
1	

DEFINITIVE CONSTRUCTION DETAILS
ROAD A
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HFI, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

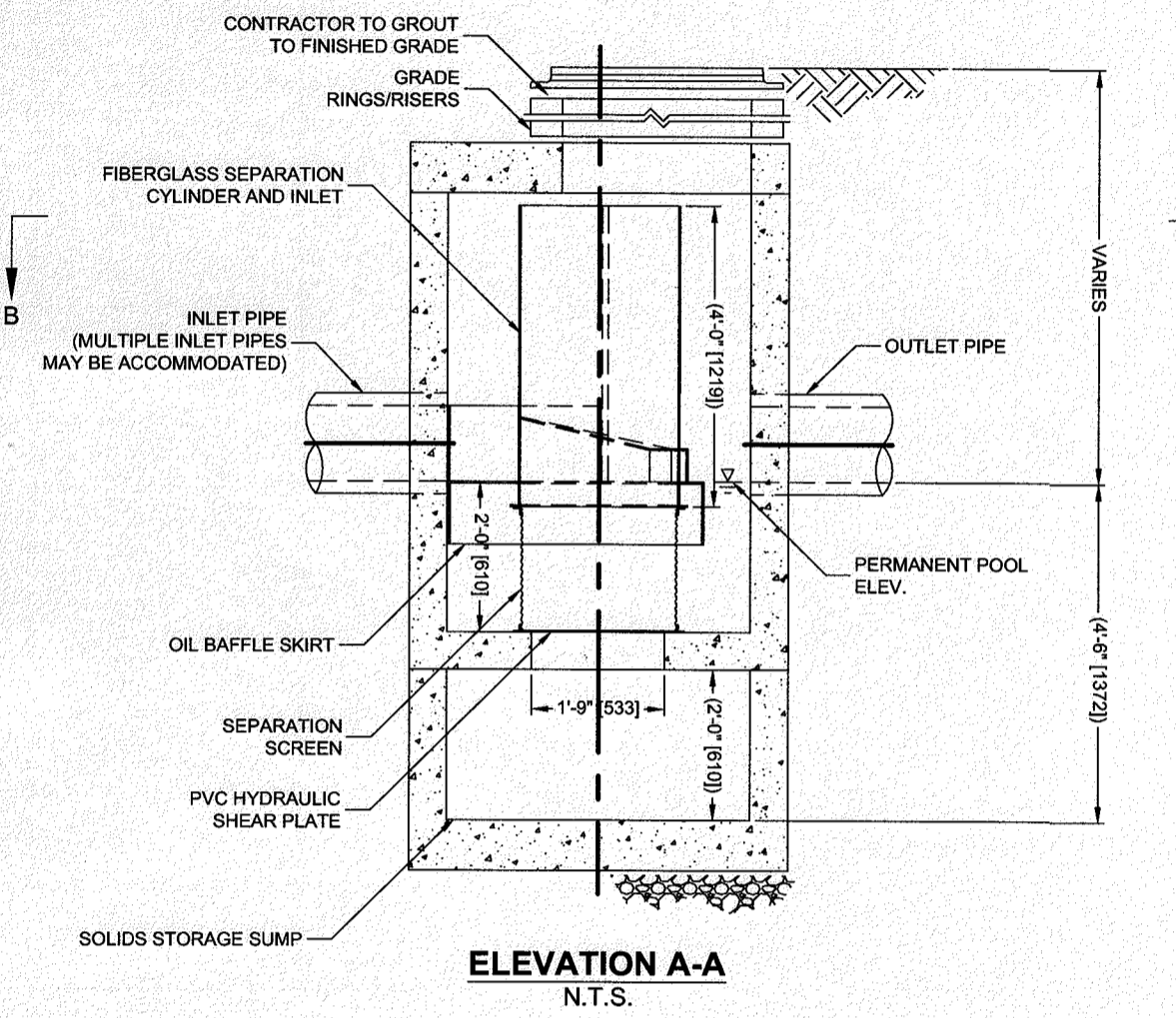
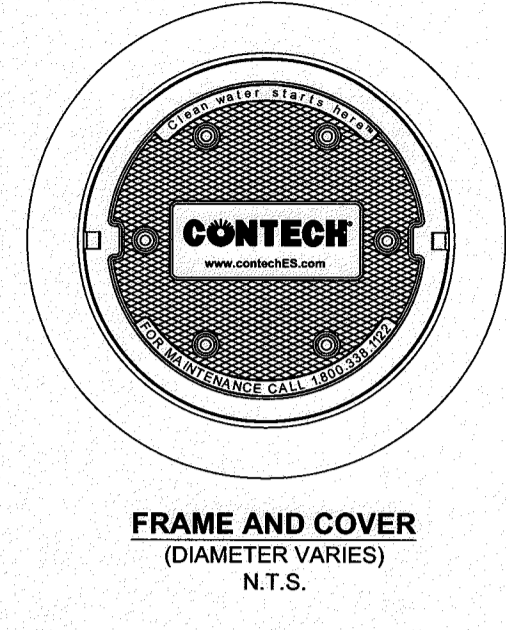
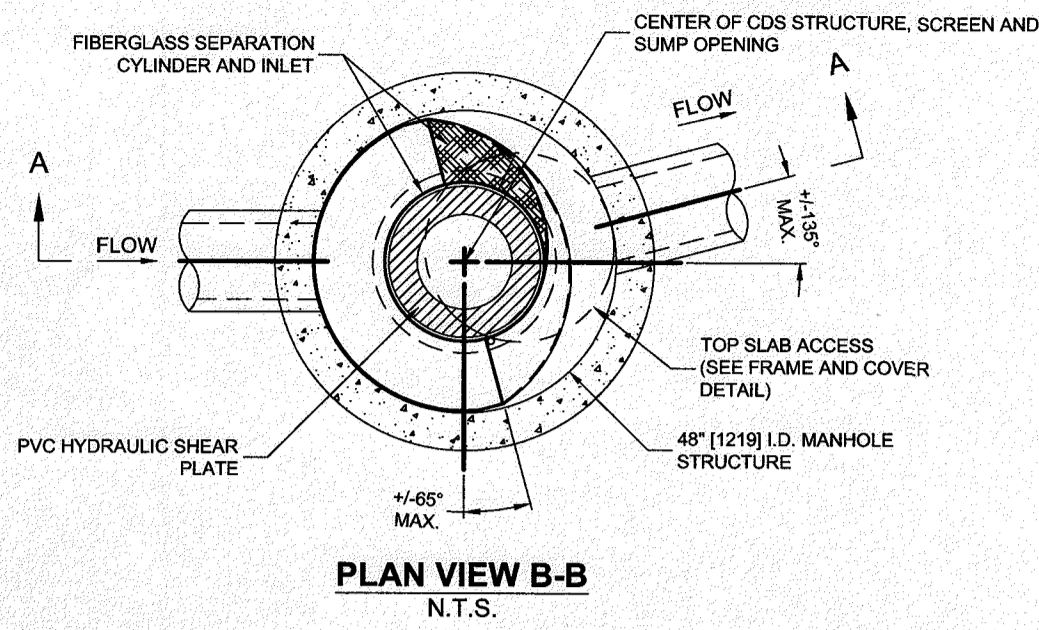
SCALE: AS SHOWN

NOVEMBER 21, 2018

DETAIL SHEET 2 OF 3

SHEET 10 OF 11

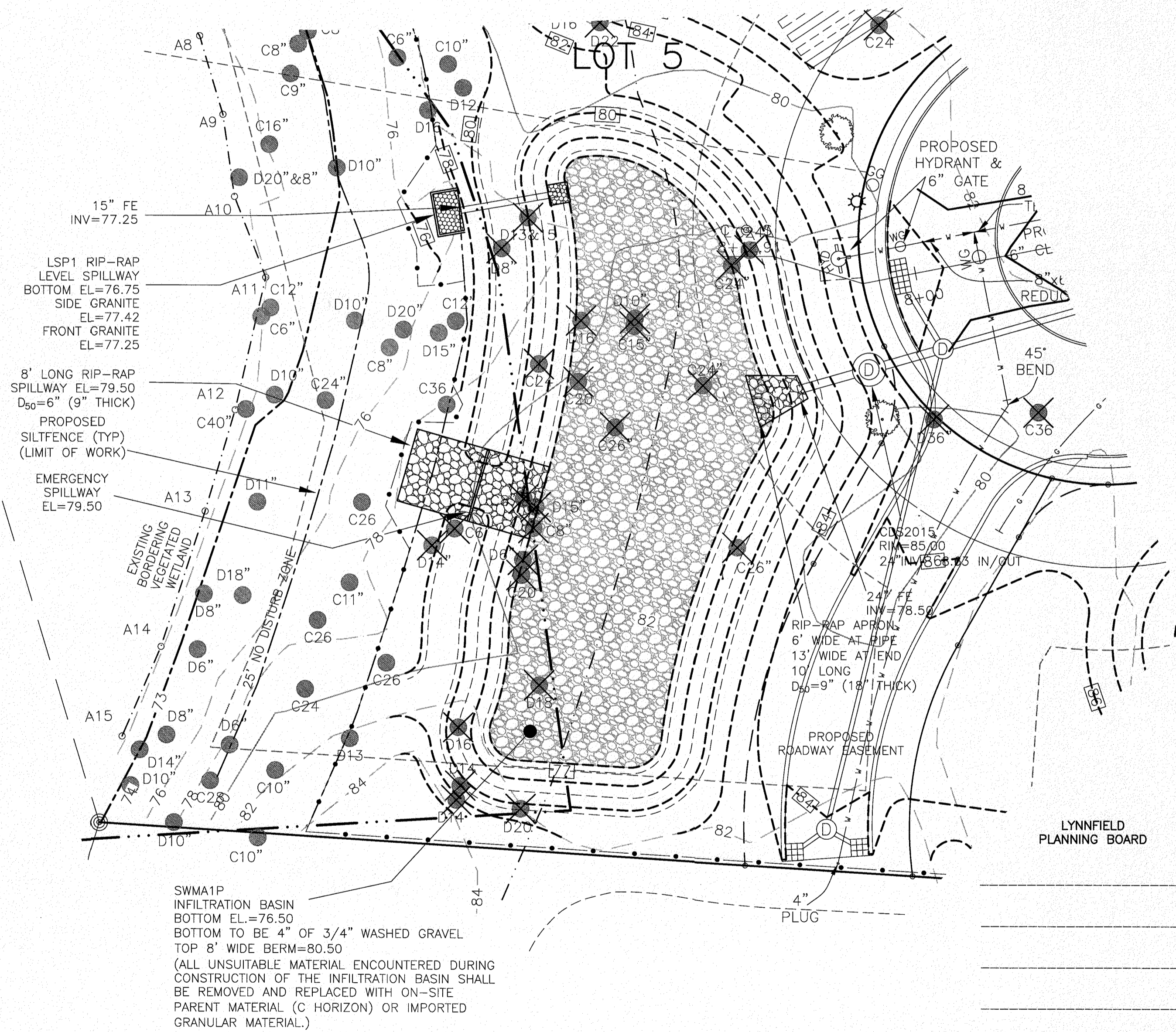
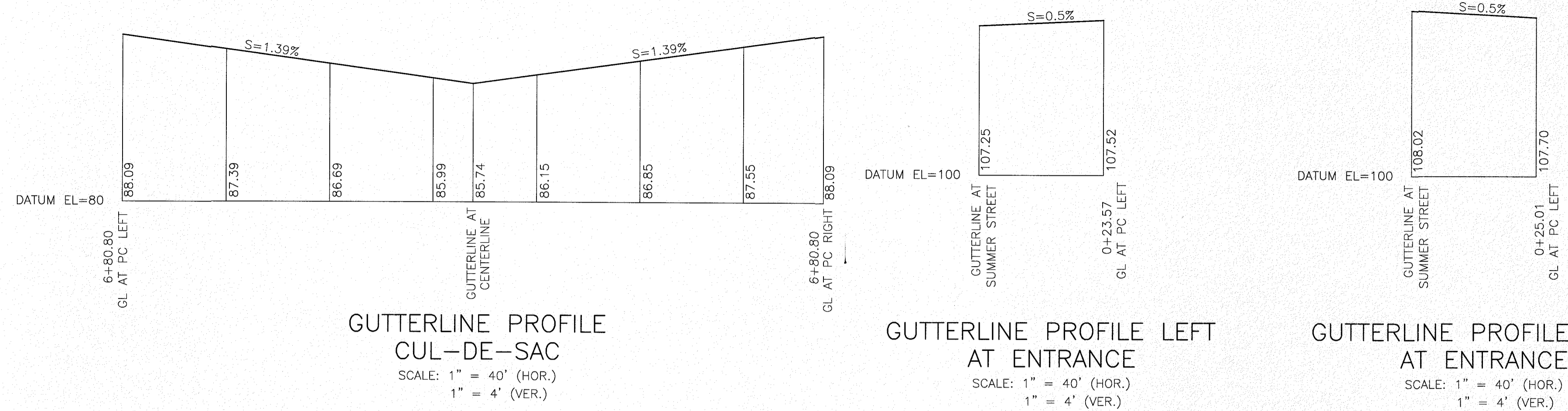




CDS2015-4-C
INLINE CDS
(NOT TO SCALE)

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO H520 AND CASTINGS SHALL MEET H520 (AASHTO M 306) LOAD RATINGS, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



INFILTRATION BASIN DETAIL
SCALE: 1" = 20' (HOR.)

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

- OWNERS:**
- JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015
 - STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027
 - JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN
DATE: _____
I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

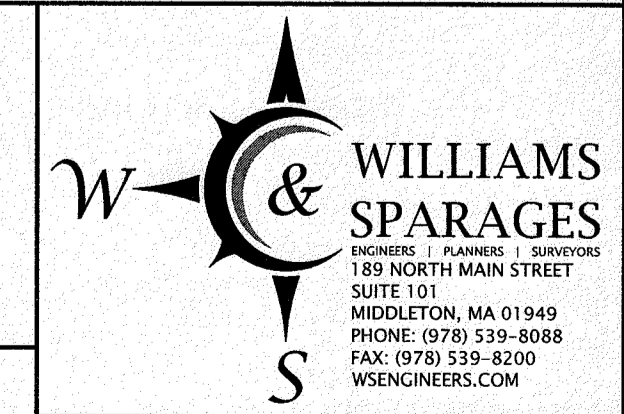
6		
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4		
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2		
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE CONSTRUCTION
DETAILS
ROAD A
LYNNFIELD, MA**

APPLICANT/SUBDIVIDER:
HPI, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

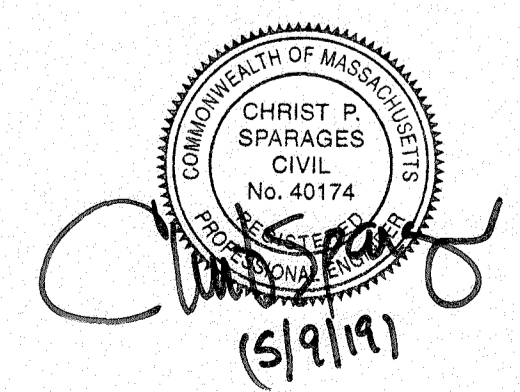
ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055



SCALE: AS SHOWN
MARCH 26, 2019

DETAIL SHEET 3 OF 3
SHEET 11 OF 11

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	



TREE LEGEND		TREE IDENTIFICATION	
TREE CODE	TREE SPECIES	TREE CODE → C24 ←	TREE DIAMETER AT BREAST HEIGHT (DBH) (INCHES)
C	CONIFER (SOFTWOOD)		TREE LOCATION
D	DECIDUOUS (HARDWOOD)		TREE TO BE REMOVED