

# Regnante Sterio LLP

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In Reply Refer to File No.  
47450

**Theodore C. Regnante**

March 6, 2020

**BY HAND DELIVERY**  
**AND EMAIL**

[ecademartori@town.lynnfield.ma.us](mailto:ecademartori@town.lynnfield.ma.us)  
Lynnfield Planning Board  
c/o Emilie Cademartori  
Director of Planning and Conservation  
Town Hall  
55 Summer Street  
Lynnfield, MA 01940

[crichter@town.lynnfield.ma.us](mailto:crichter@town.lynnfield.ma.us)  
Charles L. Richter, P.E.  
Town Engineer  
Town Hall  
55 Summer Street  
Lynnfield, MA 01940

RE: Scenic Bylaw Application - Summer Street Properties  
333, 339 and 349 Summer Street, Lynnfield, MA

Ladies and Gentlemen:

Please consider this letter as a written request on the part of my clients HPI Mass Re Development, LLC, to perform certain work within the right of way of Summer Street along the property lines of 333, 339 and 349 Summer Street, in accordance with the Lynnfield Scenic Bylaw Article VI, Chapter 217 (Scenic Roads).

The work is described in the attached narrative and site plan from Williams & Sparages, Engineers, detailing the scope of proposed work.

Town of Lynnfield  
March 6, 2020  
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In accordance with Article VI, Chapter 217, Section 40, it is requested that Mr. Richter confirm the boundaries of the public right of way, as shown on the Site Plan, and the Planning Board advertise and schedule a public hearing on the application within 45 days of such application and act accordingly.

Please advise if you need any further information.

Very truly yours,

HPI MASS RE DEVELOPMENT, LLC  
by its attorneys  
REGNANTE STERIO LLP

By

  
\_\_\_\_\_  
THEODORE C. REGNANTE

TCR:mec

cc: John Tomasz (by email)  
Brian Hannon (by email)  
Michael Hannon (by email)  
Chris Sparages (by email)

**Lynnfield Scenic Bylaw**  
**Article VI, Chapter 217**

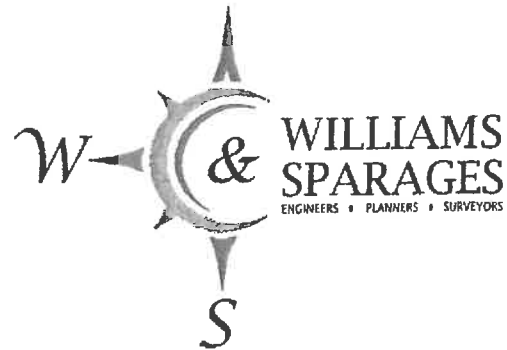
Description of Proposed Work within the Right of Way of Summer Street adjoining properties at 333, 339 and 349 Summer Street.

See attached Letter from Williams & Sparages dated March 5, 2020 and "Proposed Plot Plan #333, #339 and #349 Summer Street Lynnfield, MA Showing Proposed Work Within Right Of Way" Scale 1" = 20' dated March 5, 2020 drawn by Williams & Sparages.

Project No. LYNF-0100

March 5, 2020

Lynnfield Planning Board  
c/o Emilie Cademartori  
Director of Planning and Conservation  
Town Hall  
55 Summer Street  
Lynnfield, MA 01940



Charles L. Richter, P.E.  
Town Engineer  
Town Hall  
55 Summer Street  
Lynnfield, MA 01940

Subject: Scenic Bylaw Application – Supplemental Information  
Summer Street Properties  
333, 339 and 349 Summer Street, Lynnfield, MA

Dear Members of the Planning Board, Emilie, and Charlie:

The following letter is a narrative in support of a Scenic Road Bylaw Application being filed for the Summer Street properties located at 333, 339, and 349 Summer Street. HPI Mass Re Development, LLC, the owners of the subject property, propose to perform certain work within the right of way of Summer Street, a designated Scenic Road in the Town of Lynnfield.

The following work is being proposed:

- 1) The existing driveways at 333, 339, and 349 Summer Street will be eliminated as part of the work associated with the Definitive Subdivision plan for Tuttle Lane. Said plan is recorded at the registry of deeds in Plan Book 474 Plan 62 ("Definitive Plan"). Where the curb cut enters Summer Street at the #333 driveway, the curbing and sidewalk along Summer Street will be repaired in accordance with the roadway specifications in the Town of Lynnfield Subdivision Regulations.
- 2) Tuttle Lane will be a new roadway curb cut off of Summer Street as shown on the "Definitive Plan." The curb cut for Tuttle Lane will encompass the existing driveway curb cuts for 339 and 349 Summer Street.
- 3) There is an existing single row drystone wall along the frontage of 349 Summer Street. This wall will remain in its existing position and will not be altered by the curb cut for Tuttle Lane. We do propose to repair portions of the drystone wall by adding natural stones of similar appearance to the wall to create a uniform height of 2-feet above the ground surface. Additional natural stones will be taken from an existing drystone wall located along the

interior lot line between 339 and 349 Summer Street. The natural stones will be carefully selected and laid in a pattern of one over two and two over one.

- 4) There is no existing stone wall along the frontages of 339 and 333 Summer Street. We propose to install a drystone wall along the remaining frontage of 333 and 339 Summer Street using natural stones from an existing interior drystone wall located along the lot line between 349 and 339 Summer Street. The natural stones will be placed along the frontage in a similar fashion to the existing drystone wall that exists along the frontage of 349 Summer Street. The natural stones will be carefully selected and laid in a pattern of one over two and two over one to a uniform height of 2-feet above the ground surface.
- 5) Sections of the existing paved sidewalk on the project side of Summer Street that become damaged during construction of the work shown on the "Definitive Plan" will be replaced by the developer in accordance with the sidewalk specifications in the Town of Lynnfield Subdivision Regulations.
- 6) It is important to note that no trees are being removed within the right of way. In fact, you may recall that there are two very large silver maples trees that lie in front of 339 Summer Street. Portions of the trees lie within the right of way of Summer Street. During the public hearing for the "Definitive Plan" the developer agreed to protect these two trees during the construction of the roadway in accordance with a letter from the Town of Lynnfield's arborist consultant, dated April 16, 2019. The "Definitive Plan" contains specific tree protection details that were taken from the arborist's recommendations. The developer has also established visual tree protection zones using orange construction fencing around the trees.
- 7) Attached to this letter, please find a plot plan showing the proposed work within the right of way of Summer Street.

We look forward to presenting this application to the Planning Board at the next available meeting date. In the meantime, please feel free to contact me directly if you have any questions or require additional information.

Very truly yours,



Chris Sparages, P.E.  
Principal

Enclosure

cc: Regnante Sterio LLP  
HPI Mass Re Development, LLC