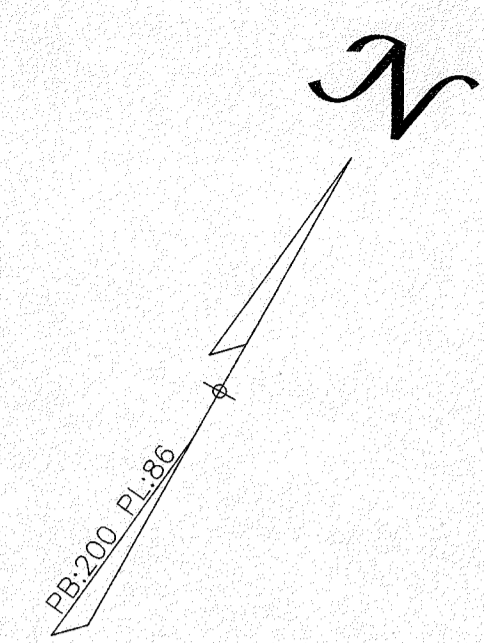
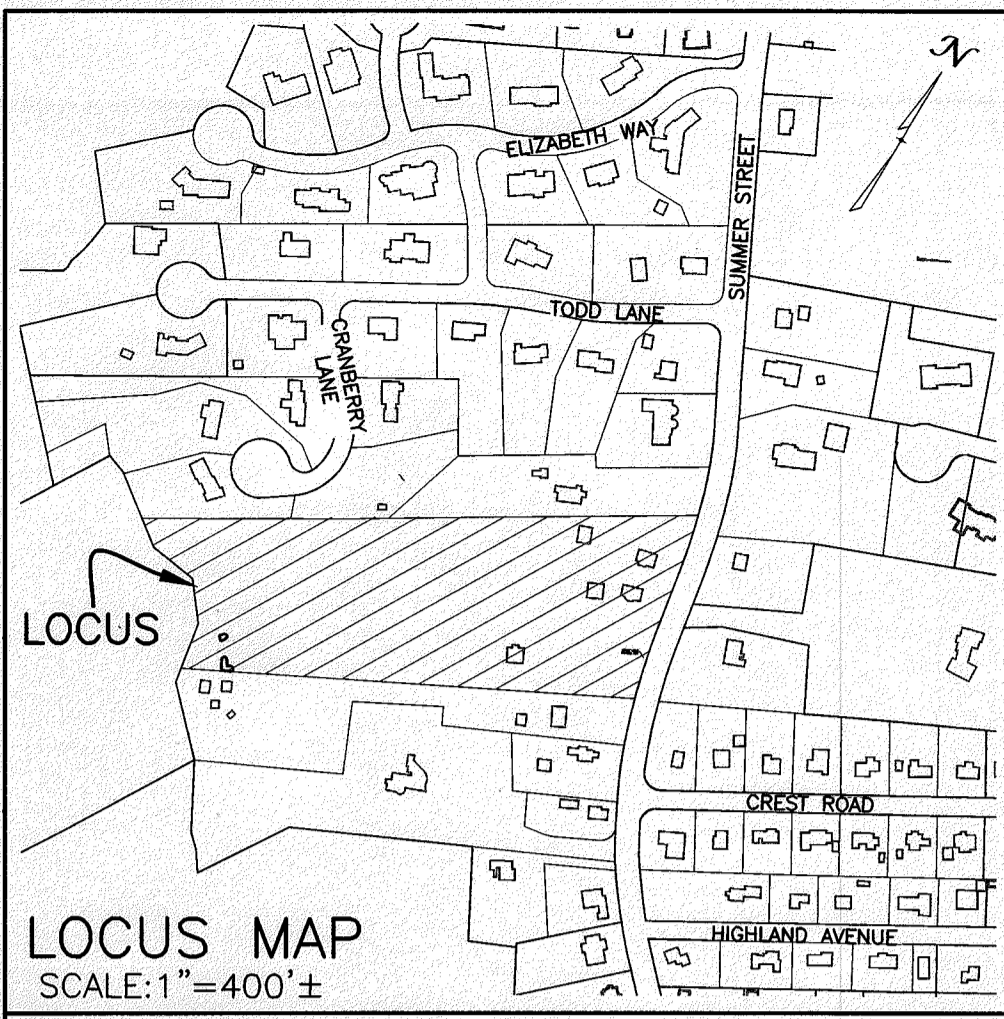


# DEFINITIVE SUBDIVISION PLAN COVER SHEET TUTTLE LANE IN LYNNFIELD, MASSACHUSETTS ASSESSORS MAP 34 LOTS 2015, 2027 AND 2055



N: 919,963.556 m  
E: 237,570.665 m

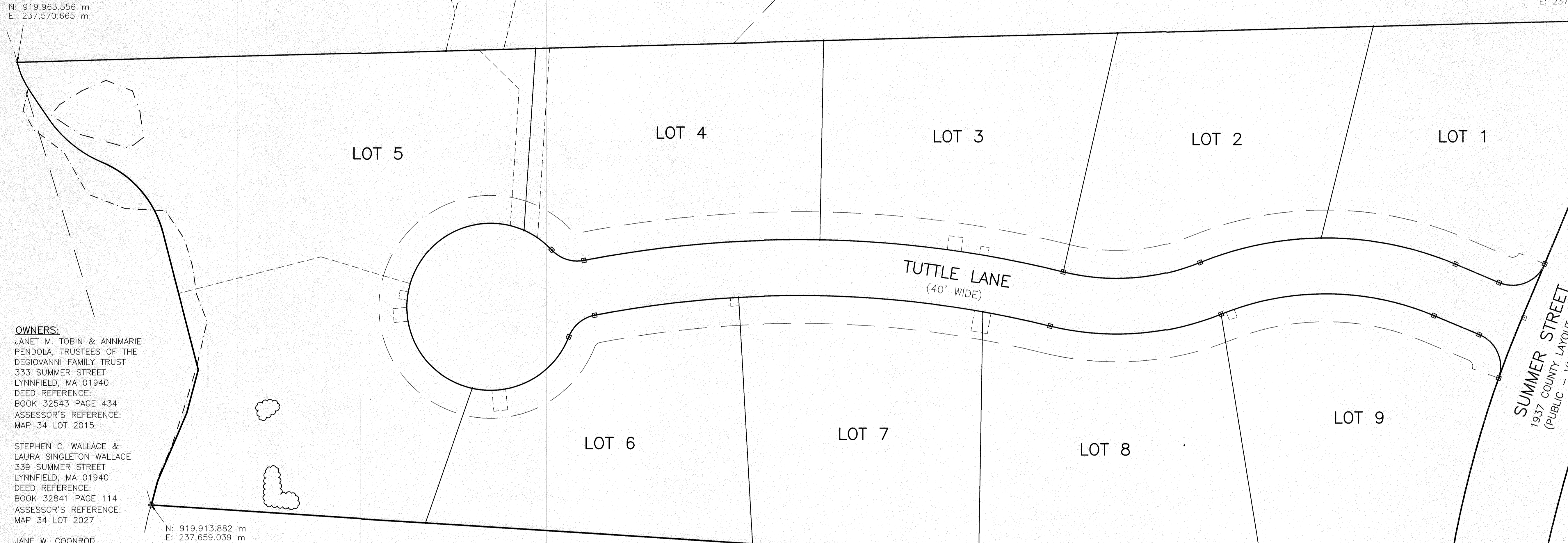
N: 920,215.061 m  
E: 237,818.303 m

**COORDINATE SYSTEM:**  
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

**ZONING DISTRICT: RB**

MINIMUM LOT AREA = 30,000 S.F.  
MINIMUM LOT FRONTAGE = 150 FEET  
FRONT YARD SETBACK = 40 FEET  
(OR 60 FROM STREET CENTER LINE)  
SIDE YARD SETBACK = 20 FEET  
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



**OWNERS:**  
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
333 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32543 PAGE 434  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
339 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2027

JANE W. COONROD  
349 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 6466 PAGE 334  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN  
DATE: \_\_\_\_\_

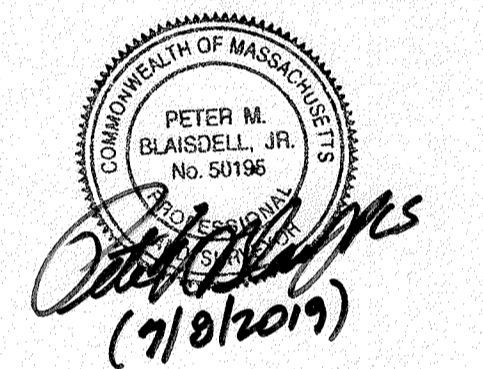
I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC  
LYNNFIELD PLANNING BOARD  
DATE: \_\_\_\_\_

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

- GENERAL NOTES:**
- WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018 AND CONFIRMED BY THE LYNNFIELD CONSERVATION COMMISSION IN AN ORAD ISSUED ON MAY 15, 2018 (SEE DEP FILE NUMBER 209-0622).
  - WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
  - TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
  - ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
  - THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
  - ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
  - EXISTING STRUCTURES ON LOCUS PROPERTY ARE TO BE RAZED.
  - THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.
  - INSTALLATION OF GAS, ELECTRIC, TELEPHONE/COMMUNICATIONS AND OTHER UTILITY MAINS AND SERVICES TO BE COORDINATED WITH THEIR APPROPRIATE PROVIDERS AND APPROVED BY THE TOWN OF LYNNFIELD RESPECTIVE DEPARTMENTS.



- LIST OF REQUESTED SUBDIVISION WAIVERS - CHAPTER 375**
- SECTION 8.5.B. (1)(a) REPLACE COLONIAL POLE-TOP LIGHTING FIXTURE WITH AMERICANA ELECTRIC LIGHTING PART #247L-20LEDE70 OR APPROVED EQUAL.
  - SECTION 7.1.D.(1) WHICH REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500' UNLESS, IN THE OPINION OF THE PLANNING BOARD, A GREATER LENGTH IS NECESSITATED BY TOPOGRAPHY OR OTHER LOCAL CONDITIONS, AND, IN PLACE THEREOF, ALLOW A LENGTH OF 812.91 FEET AS SHOWN.
  - SECTION 7.1.D.(2) REQUEST A WAIVER TO ALLOW CONSTRUCTION OF AN ISLAND WITHIN THE TURNAROUND OF THE CUL-DE-SAC.
  - SECTION 7.1.D.(4) REQUEST A WAIVER NOT TO REQUIRE CONTINUING STREETS WITHIN THE SUBDIVISION TO THE EXTERIOR BOUNDARY.
- \*SEE INDIVIDUAL SHEETS FOR REQUESTED SHEET WAIVERS.

6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE COVER SHEET  
TUTTLE LANE  
LYNNFIELD, MA**

**APPLICANT/SUBDIVIDER:**  
HPI, LLC  
23 STILES ROAD - SUITE 104  
SALEM, NH 03079

**OWNER:**  
SEE ABOVE

**ASSESSOR'S REFERENCE:**  
MAP 34 LOTS 2015, 2027, & 2055

**WILLIAMS & SPARAGES ENGINEERS**  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WEBSITE: WWW.WSENGINEERS.COM

**COVER SHEET 1 OF 1**  
**SHEET 1 OF 12**

NOVEMBER 21, 2018

- PLAN SET INDEX**
- SHEET 1: COVER SHEET
  - SHEET 2: DEFINITIVE LOTTING PLAN
  - SHEET 3: EXISTING CONDITIONS AND DEMOLITION PLAN
  - SHEET 4: DEFINITIVE PLAN & PROFILE
  - SHEET 5: TOPOGRAPHIC PLAN (SHEET 1 OF 2)
  - SHEET 6: TOPOGRAPHIC PLAN (SHEET 2 OF 2)
  - SHEET 7: STREET LIGHTING PLAN
  - SHEET 8: EROSION AND SEDIMENT CONTROL PLAN
  - SHEET 9-12: CONSTRUCTION DETAILS

PLAN: 20180328 & 349 Summer Street/OrangeDumplings.com/18/11/2018 13:57 PM (REV)

**LEGEND OF ABBREVIATIONS**

BM - BENCH MARK  
 DH - DRILL HOLE  
 IP - IRON PIPE  
 CBE - CENTER BACK EDGE  
 ECSB - ESSEX COUNTY STONE BOUND (FND) - FOUND

**ZONING DISTRICT: RB**

MINIMUM LOT AREA = 30,000 S.F.  
 MINIMUM LOT FRONTAGE = 150 FEET  
 FRONT YARD SETBACK = 40 FEET (OR 60 FROM STREET CENTER LINE)  
 SIDE YARD SETBACK = 20 FEET  
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

**LEGEND OF SYBOLS**

BENCH MARK  
 IRON PIPE  
 STONE BOUND

**COORDINATE SYSTEM:**

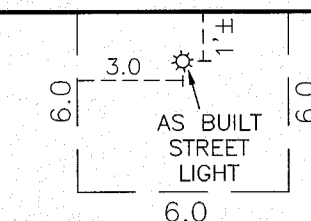
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

**ZONING TABLE**

LOT #	LOT AREA (S.F.)	UPLAND AREA (S.F.)	FRONTAGE (FT.)	DISTRICT
1	30,195	30,195	150.00*	RB
2	30,127	30,127	186.40	RB
3	30,033	30,033	175.97	RB
4	30,464	30,464	211.84	RB
5	77,200±***	69,700±***	150.00**	RB
6	30,721	30,721	201.94	RB
7	30,234	30,234	175.02	RB
8	30,550	30,550	170.78	RB
9	30,508	30,508	200.07*	RB

\* : MEASURED ALONG A STRAIGHT LINE FROM LOT CORNER TO MID POINT OF ROUNDING.  
 \*\* : USED 75% OF THE DISTANCE ALONG A CURVE.  
 \*\*\* : INCLUDES FUTURE ROADWAY EASEMENT AREA OF 4,471± S.F.

**ROADWAY SIDELINE**



STREET LIGHT LOCATION AND 6"x6" EASEMENT WHERE NECESSARY

**STREET LIGHT EASEMENT DETAIL**

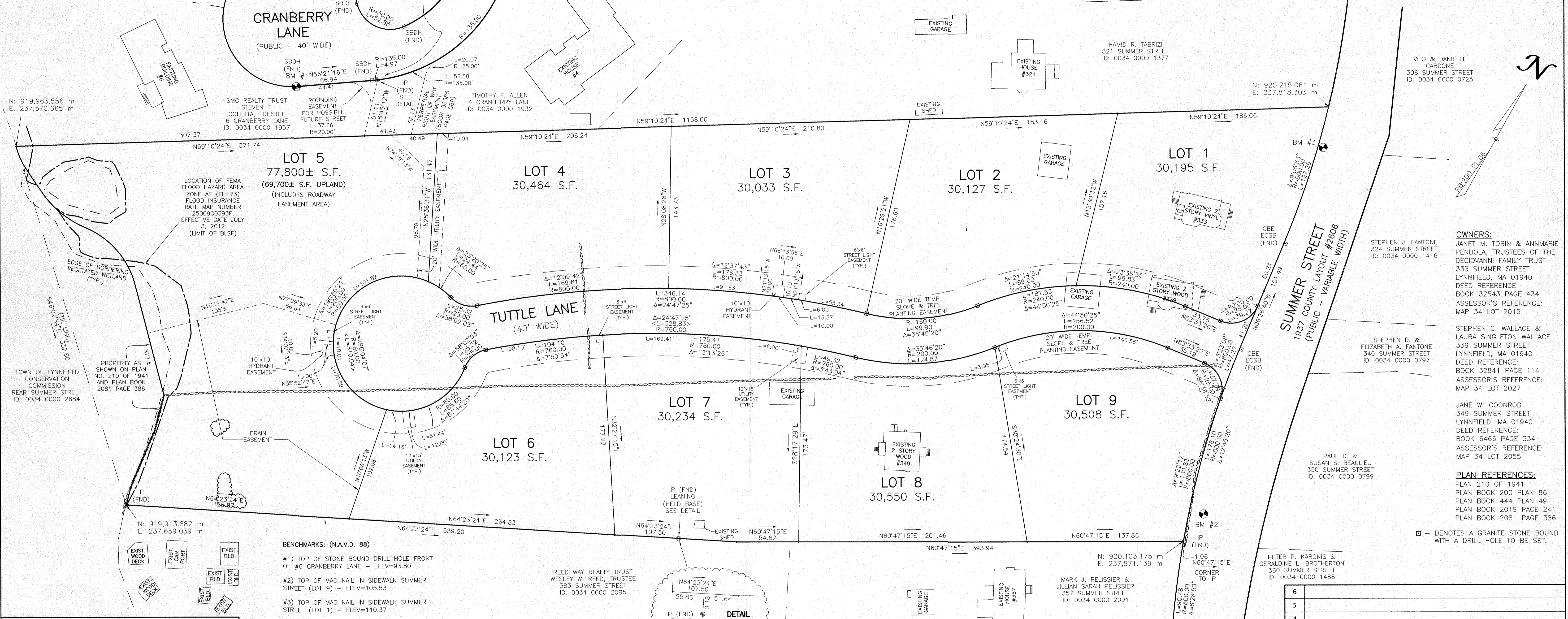
NOT TO SCALE

**REQUESTED SHEET WAIVER:**

- SECTION 6.4. A. (3) WAIVE THE REQUIREMENT TO SHOW THE LENGTH OF TANGENT OF ROADWAY CURVE ON THE PLAN.
- SECTION 6.4.A. (6) WAIVE THE REQUIREMENT TO SHOW BENCH MARKS ON STONE BOUNDS (3 BENCH MARKS ARE SHOWN)

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC



**LOT 5**  
 77,800± S.F.  
 (69,700± S.F. UPLAND)  
 (INCLUDES ROADWAY EASEMENT AREA)

**LOT 4**  
 30,464 S.F.

**LOT 3**  
 30,033 S.F.

**LOT 2**  
 30,127 S.F.

**LOT 1**  
 30,195 S.F.

**LOT 6**  
 30,123 S.F.

**LOT 7**  
 30,234 S.F.

**LOT 8**  
 30,550 S.F.

**LOT 9**  
 30,508 S.F.

**BENCHMARKS: (N.A.V.D. 88)**

- #1 TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
- #2 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

**NOTES:**

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARGES, LLC ON APRIL 10, 2018.
2. WETLAND RESOURCE FLAGS AND FEMA FLOOD HAZARD AREA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARGES, LLC ON APRIL 23, 2018.
3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
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7. EXISTING LOCUS STRUCTURES ARE TO BE RAZED.

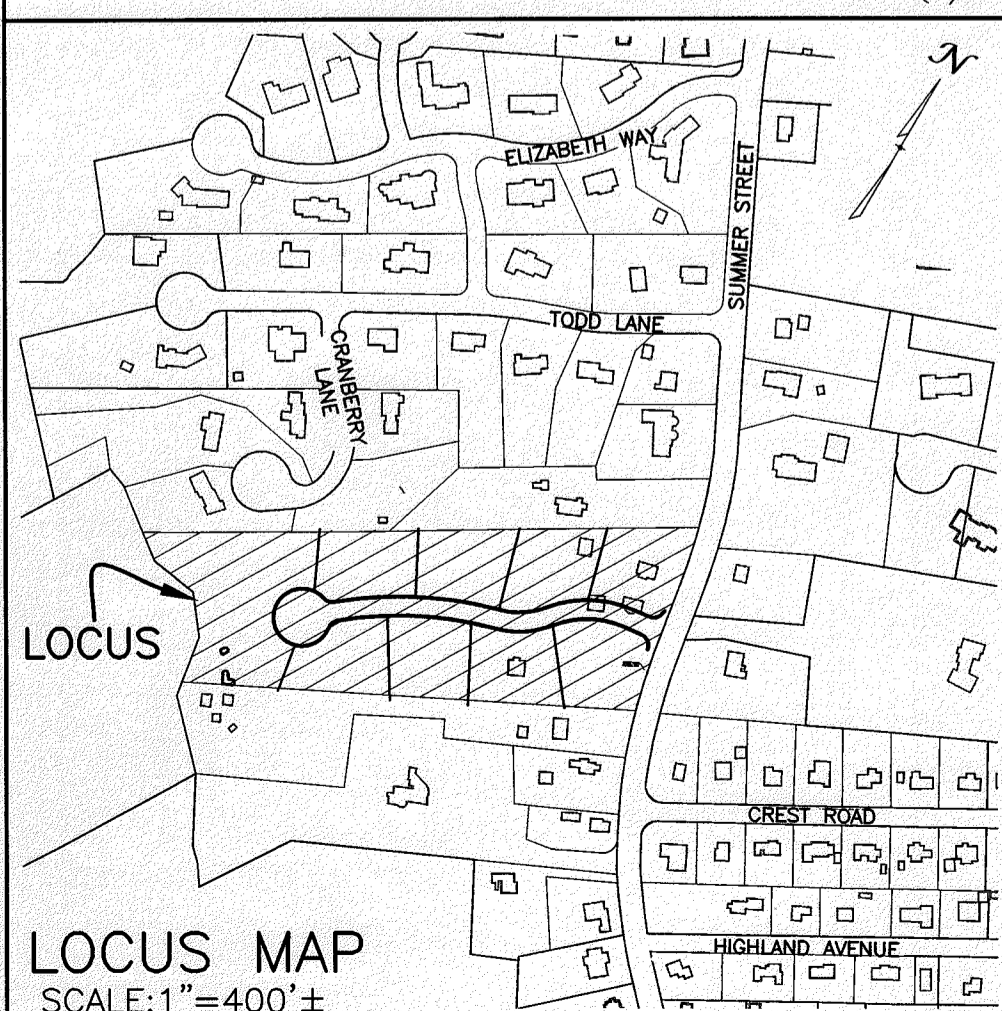
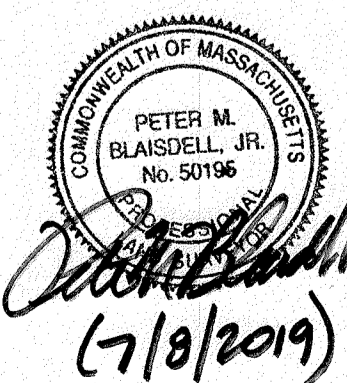
LYNNFIELD PLANNING BOARD

**CLERKS CERTIFICATION ON THE PLAN**

I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	



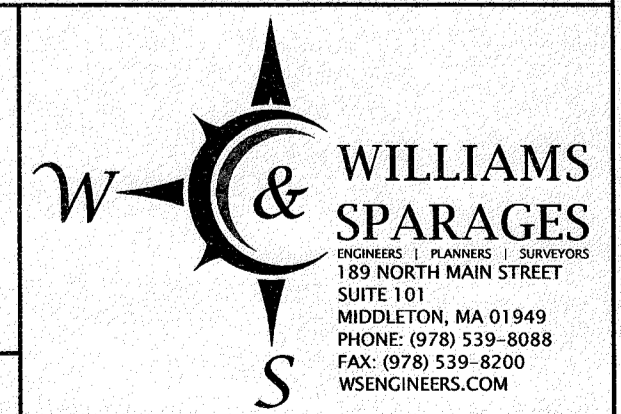
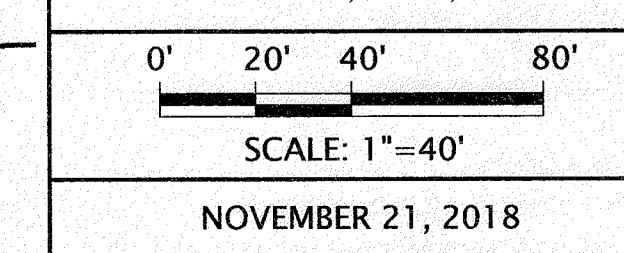
NO.	TOWN COMMENTS/PEER REVIEW	DATE
6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE LOTTING PLAN**  
**TUTTLE LANE**  
 LYNNFIELD, MA

**APPLICANT/SUBDIVIDER:**  
 HPI, LLC  
 23 STILES ROAD - SUITE 104  
 SALEM, NH 03079

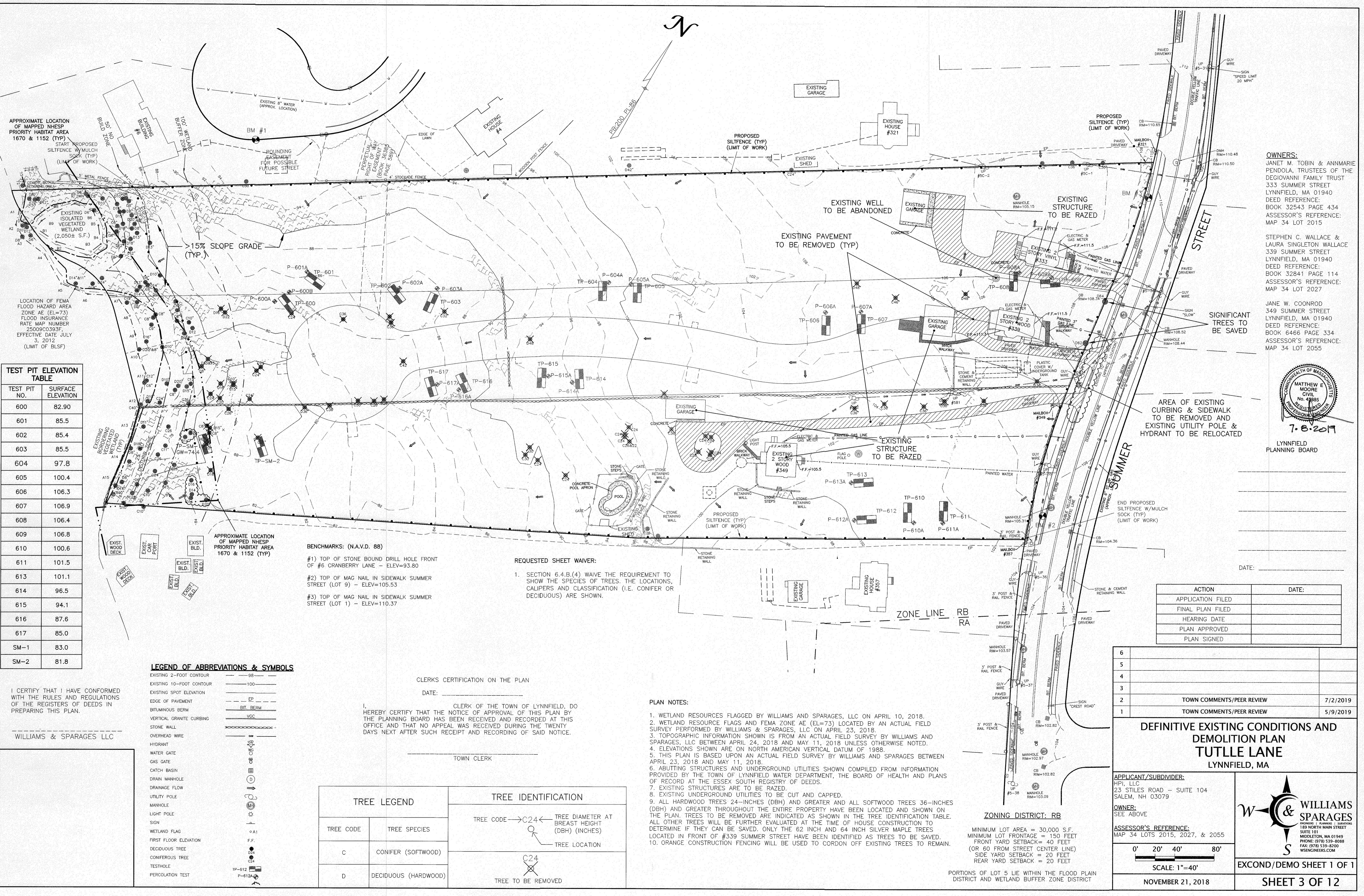
**OWNER:**  
 SEE ABOVE

**ASSESSOR'S REFERENCE:**  
 MAP 34 LOTS 2015, 2027, & 2055



**DEFINITIVE SHEET 1 OF 1**  
**SHEET 2 OF 12**

PLAN 19-00203B & 349 Summer Street (Drawing) Drawing: 19-00203B.dwg, 7/8/2019 1:32:24 PM, MDM



APPROXIMATE LOCATION OF MAPPED NHPSP PRIORITY HABITAT AREA 1670 & 1152 (TYP)

START PROPOSED SILTFENCE W/ MULCH SOCK (TYP) (LIMIT OF WORK)

EXISTING ISOLATED VEGETATED WETLAND (2,050± S.F.)

LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 25009C0393F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

TEST PIT NO.	SURFACE ELEVATION
600	82.90
601	85.5
602	85.4
603	85.5
604	97.8
605	100.4
606	106.3
607	106.9
608	106.4
609	106.8
610	100.6
611	101.5
613	101.1
614	96.5
615	94.1
616	87.6
617	85.0
SM-1	83.0
SM-2	81.8

**LEGEND OF ABBREVIATIONS & SYMBOLS**

EXISTING 2-FOOT CONTOUR	98
EXISTING 10-FOOT CONTOUR	100
EXISTING SPOT ELEVATION	EP
EDGE OF PAVEMENT	EP
BITUMINOUS BERM	BIT. BERM
VERTICAL GRANITE CURBING	VGC
STONE WALL	-----
OVERHEAD WIRE	---
HYDRANT	⊕
WATER GATE	⊕
GAS GATE	⊕
CATCH BASIN	⊕
DRAIN MANHOLE	⊕
DRAINAGE FLOW	→
UTILITY POLE	⊕
MANHOLE	⊕
LIGHT POLE	⊕
SIGN	⊕
WETLAND FLAG	⊕
FIRST FLOOR ELEVATION	F.F.
DECIDUOUS TREE	●
CONIFEROUS TREE	●
TESTHOLE	⊕
PERCOLATION TEST	⊕

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES, LLC

**BENCHMARKS: (N.A.V.D. 88)**

#1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80

#2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53

#3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

**REQUESTED SHEET WAIVER:**

1. SECTION 6.4.B.(4) WAIVE THE REQUIREMENT TO SHOW THE SPECIES OF TREES. THE LOCATIONS, CALIPERS AND CLASSIFICATION (I.E. CONIFER OR DECIDUOUS) ARE SHOWN.

**CLERKS CERTIFICATION ON THE PLAN**

DATE: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

\_\_\_\_\_  
TOWN CLERK

TREE LEGEND		TREE IDENTIFICATION
TREE CODE	TREE SPECIES	TREE CODE → C24 ← TREE DIAMETER AT BRESTH HEIGHT (DBH) (INCHES)
C	CONIFER (SOFTWOOD)	○ TREE LOCATION
D	DECIDUOUS (HARDWOOD)	⊗ TREE TO BE REMOVED

- PLAN NOTES:**
1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
  2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
  3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
  4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
  5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
  6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
  7. EXISTING STRUCTURES ARE TO BE RAZED.
  8. EXISTING UNDERGROUND UTILITIES TO BE CUT AND CAPPED.
  9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.
  10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORDON OFF EXISTING TREES TO REMAIN.

**ZONING DISTRICT: RB**

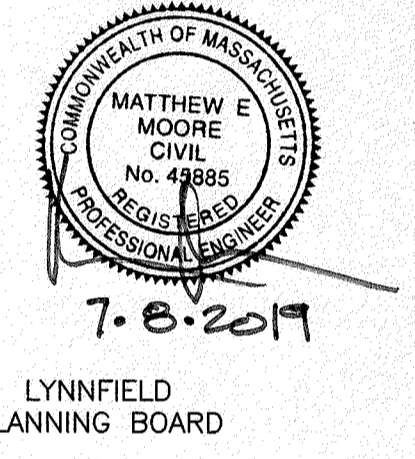
MINIMUM LOT AREA = 30,000 S.F.  
 MINIMUM LOT FRONTAGE = 150 FEET  
 FRONT YARD SETBACK = 40 FEET  
 (OR 60 FEET FROM STREET CENTER LINE)  
 SIDE YARD SETBACK = 20 FEET  
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

**OWNERS:**  
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
 333 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32543 PAGE 434  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
 339 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32841 PAGE 114  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD  
 349 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 6466 PAGE 334  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055



AREA OF EXISTING CURBING & SIDEWALK TO BE REMOVED AND EXISTING UTILITY POLE & HYDRANT TO BE RELOCATED

SIGNIFICANT TREES TO BE SAVED

END PROPOSED SILTFENCE W/ MULCH SOCK (TYP) (LIMIT OF WORK)

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

DATE: \_\_\_\_\_

6		
5		
4		
3		
2	TOWN COMMENTS/PEER REVIEW	7/2/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE EXISTING CONDITIONS AND DEMOLITION PLAN**  
**TUTTLE LANE**  
 LYNNFIELD, MA

**APPLICANT/SUBDIVIDER:**  
 HIPI, LLC  
 23 STILES ROAD - SUITE 104  
 SALEM, NH 03079

**OWNER:**  
 SEE ABOVE

**ASSESSOR'S REFERENCE:**  
 MAP 34 LOTS 2015, 2027, & 2055

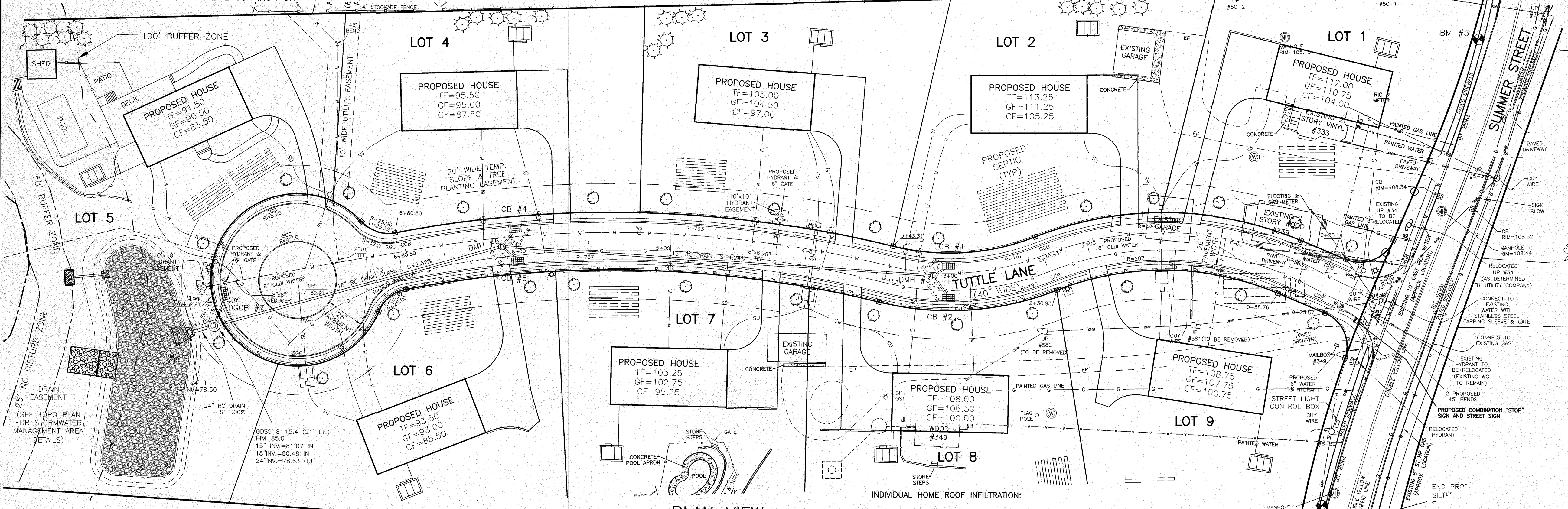
**SCALE: 1"=40'**

NOVEMBER 21, 2018

**W & SPARAGES**  
 ENGINEERS & ARCHITECTS  
 189 NORTH MAIN STREET  
 SUITE 101  
 MIDDLETON, MA 01949  
 PHONE: (978) 539-8088  
 FAX: (978) 539-8200  
 WSENGINEERS.COM

**EXCOND/DEMO SHEET 1 OF 1**  
**SHEET 3 OF 12**

SEE SHEET 5 OF 11 FOR WATERLINE CONTINUATION



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

REQUESTED SHEET WAIVERS:

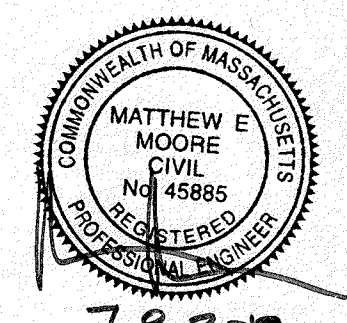
- SECTION 6.4.C.1(g) WAIVE THE REQUIREMENT TO SHOW THE LEFT AND RIGHT GUTTER LINE PROFILES ON THIS SHEET AS THEY ARE SHOWN ON DETAIL SHEET 3 OF 3.
- SECTION 6.4.C.2(f) WAIVE THE REQUIREMENT TO SHOW ON THE PLAN VIEW THE PROPOSED RIM ELEVATIONS, SUMP ELEVATIONS AND PIPE INVERTS AS THEY ARE SHOWN ON THE PROFILE VIEW.

PLAN NOTES:

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- ALL SUBSTITUTIONS OF APPROVED EQUALS MUST BE APPROVED BY THE TOWN ENGINEER.
- REFER TO GENERAL NOTES LISTED ON COVER SHEET.
- SEE DETAIL SHEET 3 OF 3 FOR GUTTER LINE PROFILES AT THE ROUNDINGS ON SUMMER STREET AND GUTTER LINE PROFILE FOR THE CUL-DE-SAC.

BENCHMARKS: (N.A.V.D. 88)

- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80 (SEE TOPO SHEET FOR LOCATION)
- #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37



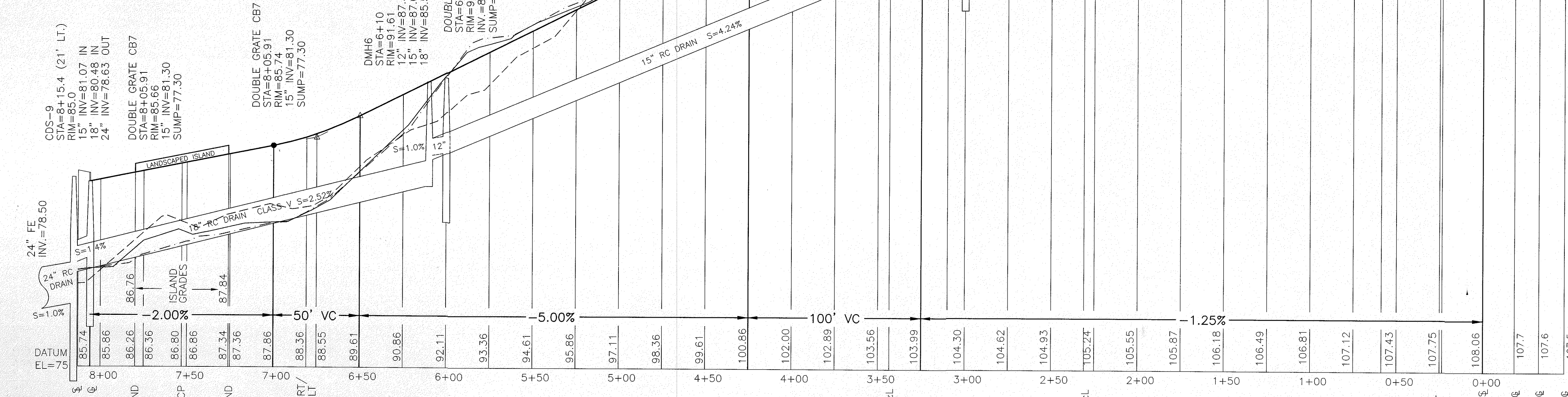
**DRINKING WATER DISTRIBUTION PIPING INSTALLATION NOTES:**

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LYNNFIELD CENTER WATER DISTRICT UNLESS OTHERWISE SPECIFIED.
- AS BUILT PLANS SHALL BE SUBMITTED TO THE LYNNFIELD CENTER WATER DISTRICT IN ELECTRONIC FORMAT, AS WELL AS ONE SET OF REPRODUCIBLE PLANS. THESE WILL INCLUDE TIES TO VALVES, CURB BOXES, AND SERVICE CORPORATIONS.
- SHUTDOWN AND TIE IN PROCEDURES SHALL BE COORDINATED WITH THE LYNNFIELD CENTER WATER DISTRICT.
- CHLORINATING AND HYDROSTATIC TESTING SHALL BE WITNESSED BY A REPRESENTATIVE OF THE LYNNFIELD CENTER WATER DISTRICT.
- SERVICE CONNECTIONS SHALL BE COMPLETED AFTER THE NEW WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED, AND APPROVED.
- MAINTAIN A MINIMUM CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER UTILITIES OF AT LEAST 18 INCHES.
- ALL HYDRANTS SHALL INCLUDE SNOW FLAGS TO PROVIDE VISIBILITY DURING SNOW SITUATIONS.
- ALL VALVE BOXES SHALL BE PROVIDED WITH MUD PLUGS.

**ZONING DISTRICT: RB**

MINIMUM LOT AREA = 30,000 S.F.  
 MINIMUM LOT FRONTAGE = 150 FEET  
 FRONT YARD SETBACK = 40 FEET  
 (OR 60 FROM STREET CENTER LINE)  
 SIDE YARD SETBACK = 20 FEET  
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



**PROFILE VIEW TUTTLE ROAD**

DATE: 7.8.2019

**OWNERS:**

JANET M. TOBIN & ANNAMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
 333 SUMMER STREET LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32543 PAGE 434  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
 339 SUMMER STREET LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32841 PAGE 114  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

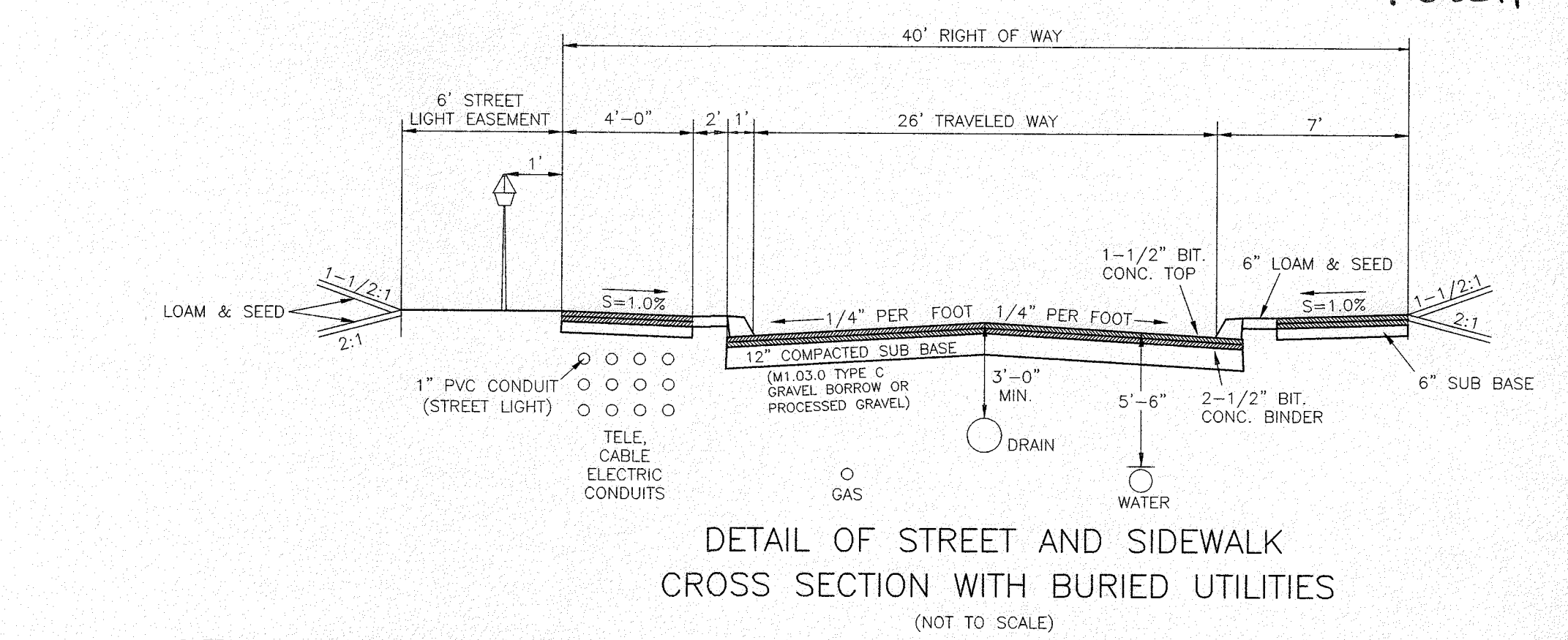
JANE W. COONROD  
 349 SUMMER STREET LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 6466 PAGE 334  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

**PROPRIETARY TREATMENT DEVICE:**

IF THE APPLICANT WISHES TO SUBSTITUTE ANOTHER STORMWATER TREATMENT UNIT FOR THE CDS UNIT SPECIFIED ON THE PLANS THEN HE MUST SUBMIT A REQUEST FOR THIS SUBSTITUTION TO THE LYNNFIELD TOWN ENGINEER IN WRITING, INCLUDING ALL NECESSARY CALCULATIONS FOR THE SIZING OF THE UNIT, NUCAT DATA FOR THE UNIT AND A STATEMENT BY A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER THAT THE UNIT IS EQUIVALENT TO THE CDS UNIT SHOWN ON THE PLANS. THE PROPOSED ALTERNATIVE MUST HAVE THE SAME (OR MORE) HYDROCARBON STORAGE, SEDIMENT STORAGE, STORMWATER TREATMENT FLOW AND TREATMENT EFFICIENCY AS THE CDS UNIT SHOWN. THE TOWN ENGINEER SHALL ACT ON THE REQUEST AND THE REQUEST MUST BE APPROVED PRIOR TO THE SHIPMENT OF THE ALTERNATIVE TREATMENT UNIT TO THE SITE.

**INDIVIDUAL HOME ROOF INFILTRATION:**

THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT, THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL EVALUATOR TO PERFORM SOIL TEST PITS IN THE LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AND THE DESIGN SHALL BE PERFORMED AS SET FORTH IN THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE. A MONITORING WELL SHALL BE PROVIDED FOR EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE, WHEN THE INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PIPING IS COMPLETE.



**CLERKS CERTIFICATION ON THE PLAN**

DATE: \_\_\_\_\_  
 CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK	_____
LYNNFIELD PLANNING BOARD	_____
DATE:	_____

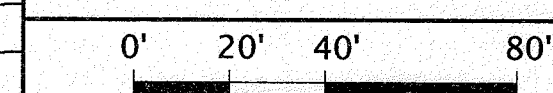
6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE PLAN & PROFILE TUTTLE LANE LYNNFIELD, MA**

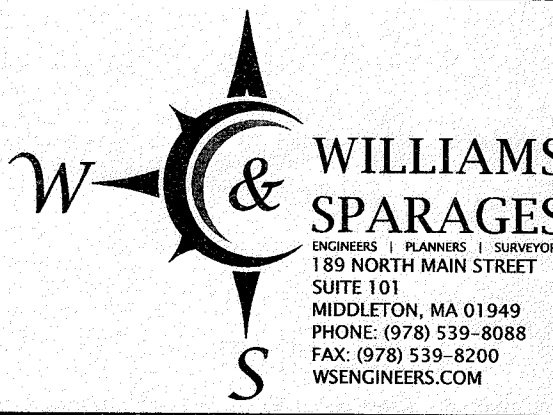
APPLICANT/SUBDIVIDER:  
 HPI, LLC  
 23 STILES ROAD - SUITE 104 SALEM, NH 03079

OWNER:  
 SEE ABOVE

ASSESSOR'S REFERENCE:  
 MAP 34 LOTS 2015, 2027, & 2055



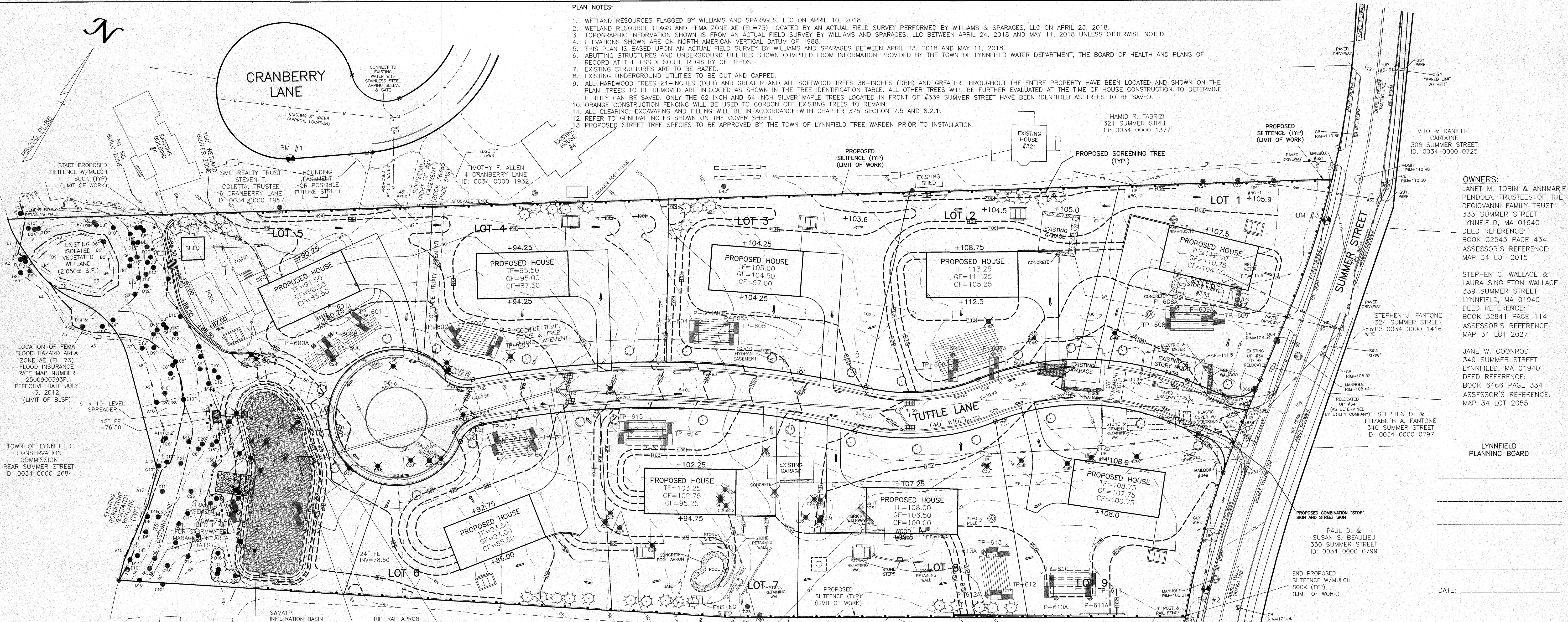
SCALE: 1"=40' (HOR) & 4'(VERT)  
 NOVEMBER 21, 2018



**PROFILE SHEET 1 OF 1 SHEET 4 OF 12**

**PLAN NOTES:**

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
7. EXISTING STRUCTURES ARE TO BE RAZED.
8. EXISTING UNDERGROUND UTILITIES TO BE CUT AND CAPPED.
9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.
10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORROD OFF EXISTING TREES TO REMAIN.
11. ALL CLEARING, EXCAVATING AND FILLING WILL BE IN ACCORDANCE WITH CHAPTER 375 SECTION 7.5 AND 8.2.1.
12. REFER TO GENERAL NOTES SHOWN ON THE COVER SHEET.
13. PROPOSED STREET TREE SPECIES TO BE APPROVED BY THE TOWN OF LYNNFIELD TREE WARDEN PRIOR TO INSTALLATION.



**BENCHMARKS: (N.A.V.D. 88)**

#1 TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80

#2 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53

#3 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

**LEGEND OF ABBREVIATIONS & SYMBOLS**

EXISTING 2-FOOT CONTOUR	98
EXISTING 10-FOOT CONTOUR	100
EXISTING SPOT ELEVATION	EP
EDGE OF PAVEMENT	EP
BITUMINOUS BERM	BIT. BERM
VERTICAL GRANITE CURBING	VGC
STONE WALL	SW
OVERHEAD WIRE	OW
HYDRANT	H
WATER GATE	WG
GAS GATE	GG
CATCH BASIN	CB
DRAIN MANHOLE	DM
DRAINAGE FLOW	DF
UTILITY POLE	UP
MANHOLE	M
LIGHT POLE	LP
SIGN	S
WETLAND FLAG	WF
FIRST FLOOR ELEVATION	F.F.
DECIDUOUS TREE	DT
CONIFEROUS TREE	CT
TESTHOLE	TH
PERCOLATION TEST	PT
PROPOSED STREET TREE	ST
PROPOSED SCREENING TREE	ST

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

**REQUESTED SHEET WAIVERS:**

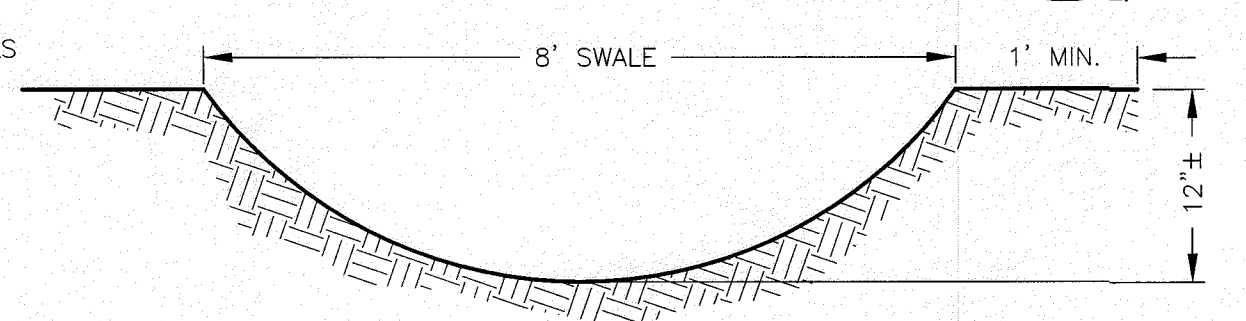
1. SECTION 6.4.D.(1) WAIVE REQUIREMENT TO SHOW THE ROADWAY AND SIDEWALK LOCATIONS DESIGNATED WITH WIDTHS AND RADII AS THE ROADWAY RADII ARE SHOWN IN PLAN VIEW AND THE SIDEWALK IS SHOWN ON THE ROADWAY SECTION DETAIL SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.
2. SECTION 6.4.D.(2) WAIVE REQUIREMENT TO SHOW CONTOURS AT 1' INTERVALS AS 2' INTERVALS WITH INDEX CONTOURS ARE SHOWN.
3. SECTION 6.4.B.(4) WAIVE THE REQUIREMENT TO SHOW THE SPECIES OF TREES. THE LOCATIONS, CALIPERS AND CLASSIFICATION (I.E. CONIFER OR DECIDUOUS) ARE SHOWN.
4. SECTION 6.4.D.(8) WAIVE REQUIREMENT TO SHOW TOP AND BOTTOM OF CURB GRADES AND RETAINING WALLS.
5. SECTION 6.4.D.(11) WAIVE REQUIREMENT TO SHOW INSERT OF THE DETENTION BASIN AS THE INSERT IS SHOWN ON DETAIL SHEET 3 OF 3 WITH PIPE LOCATIONS, STRUCTURES AND PIPE ELEVATIONS SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.

**INDIVIDUAL HOME ROOF INFILTRATION:**

THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT, THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL EVALUATOR TO PERFORM SOIL TEST PITS IN THE LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AND THE DESIGN SHALL BE PERFORMED AS SET FORTH IN THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE. A MONITORING WELL SHALL BE PROVIDED FOR EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE, WHEN THE INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PIPING IS COMPLETE.

**STORMTECH INSTALLATION NOTES FOR ROOF TOP RUNOFF:**

1. NO CONSTRUCTION EQUIPMENT TO BE DRIVEN OVER BOTTOM OF CHAMBER EXCAVATION.
2. EXCAVATION TO BE FREE OF SILT AND SHALL BE INSPECTED BY DESIGN ENGINEER.
3. CARE SHALL BE TAKEN TO PROTECT THE STONE FROM SILT AND OTHER CONTAMINANTS UNTIL THE INSTALLATION IS COMPLETE.
4. BASE STONE WITH CHAMBERS AND FILTER FABRIC TO BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
5. PHOTOGRAPHS OF EACH STEP OF THE INSTALLATION TO BE PROVIDED AFTER THE INSTALLATION IS COMPLETE.



**GRASS SWALE**  
(NOT TO SCALE)

CLERKS CERTIFICATION ON THE PLAN

DATE: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

**PLANT SCHEDULE - SCREEN PLANTINGS**

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ACTION	DATE:
37	TOTAL	SELECT FROM:			
		JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10'	
		PICEA ABIES	NORWAY SPRUCE	8'-10'	
		PICEA GLAUCA	WHITE SPRUCE	8'-10'	APPLICATION FILED
		PINUS STRUBUS	EASTERN WHITE PINE	10'-12'	FINAL PLAN FILED
		THUJA OCCIDENTALIS 'DARK AMERICAN'	DARK AMERICAN ARBORVITAE	10'-12'	HEARING DATE
		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	10'-12'	PLAN APPROVED
		THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	10'-12'	PLAN SIGNED

**OWNERS:**

JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
333 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32543 PAGE 434  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
339 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2027

JANE W. COONROD  
349 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 6466 PAGE 334  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

STEPHEN J. FANTONE  
324 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2027

STEPHEN D. & ELIZABETH A. FANTONE  
340 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

PAUL D. & SUSAN S. BEAULIEU  
350 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

PETER P. KARONIS & GERALDINE L. BROTHERTON  
360 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32841 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

VITO & DANIELLE CARDONE  
306 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32543 PAGE 434  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2015

AMIR R. TABRIZI  
321 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32543 PAGE 434  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2015

**ZONING DISTRICT: RB**

MINIMUM LOT AREA = 30,000 S.F.  
MINIMUM LOT FRONTAGE = 150 FEET  
FRONT YARD SETBACK = 40 FEET  
(OR 60 FEET FROM STREET CENTER LINE)  
SIDE YARD SETBACK = 20 FEET  
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

**DEFINITIVE TOPOGRAPHIC PLAN**  
**TUTTLE LANE**  
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:  
HPI, LLC  
23 STILES ROAD - SUITE 104  
SALEM, NH 03079

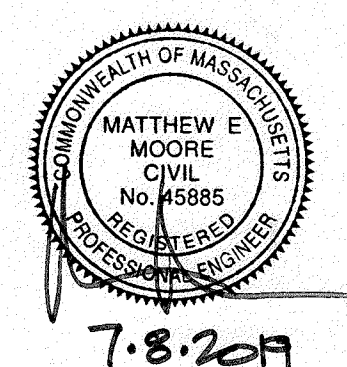
OWNER:  
SEE ABOVE

ASSESSOR'S REFERENCE:  
MAP 34 LOTS 2015, 2027, & 2055

NOVEMBER 21, 2018

**WILLIAMS & SPARAGES**  
REGISTERED PROFESSIONAL ENGINEERS  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01469  
PHONE: (978) 539-8088  
FAX: (978) 539-8200  
WSENGINEERS.COM

**TOPO SHEET 1 OF 2**  
**SHEET 5 OF 12**



7.8.2018

6		
5		
4	TOWN COMMENTS/PEER REVIEW	7/2/2019
3	TOWN COMMENTS/PEER REVIEW	6/10/2019
2	TOWN COMMENTS/PEER REVIEW	5/9/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE TOPOGRAPHIC PLAN**  
**TUTTLE LANE**  
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APPLICANT/SUBDIVIDER:  
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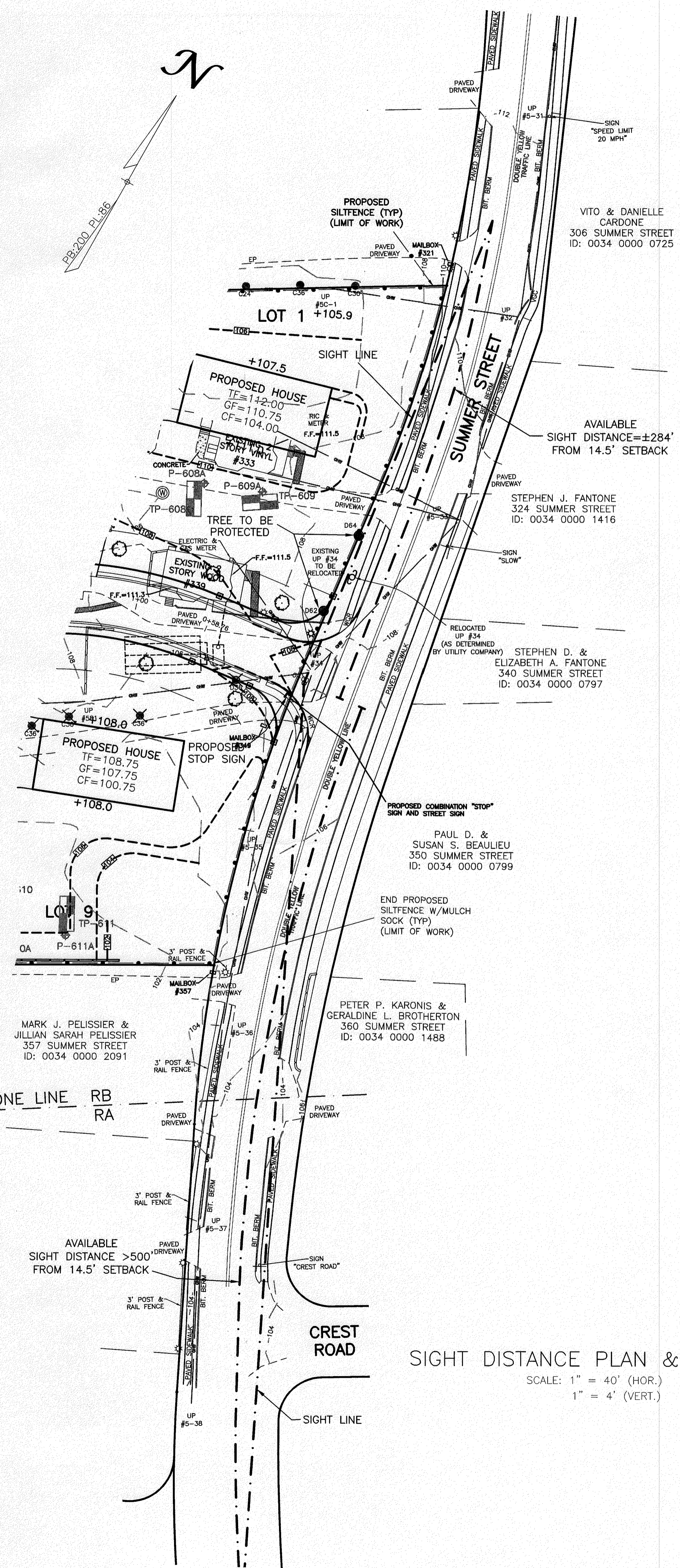
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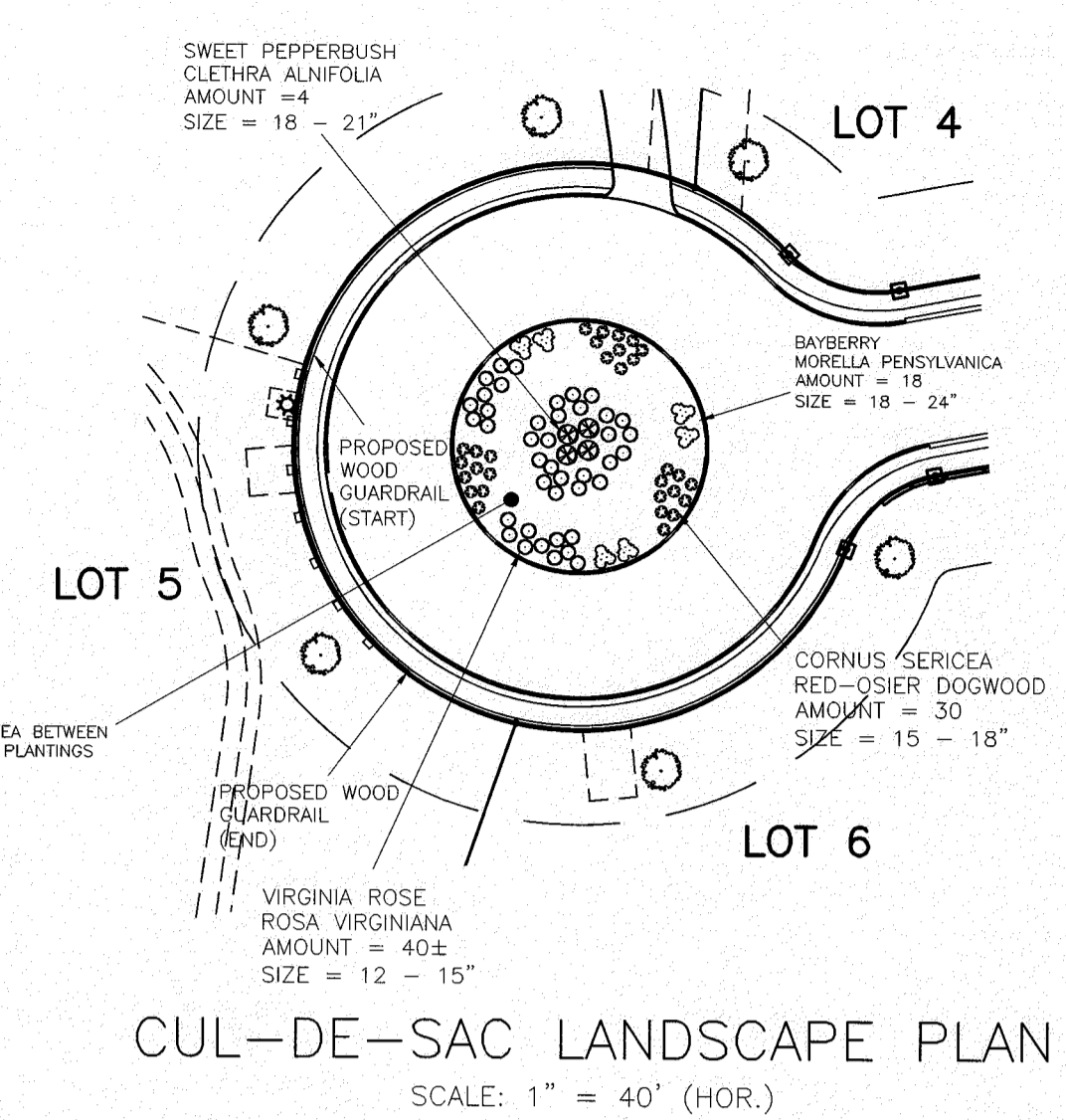
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**TOPO SHEET 1 OF 2**  
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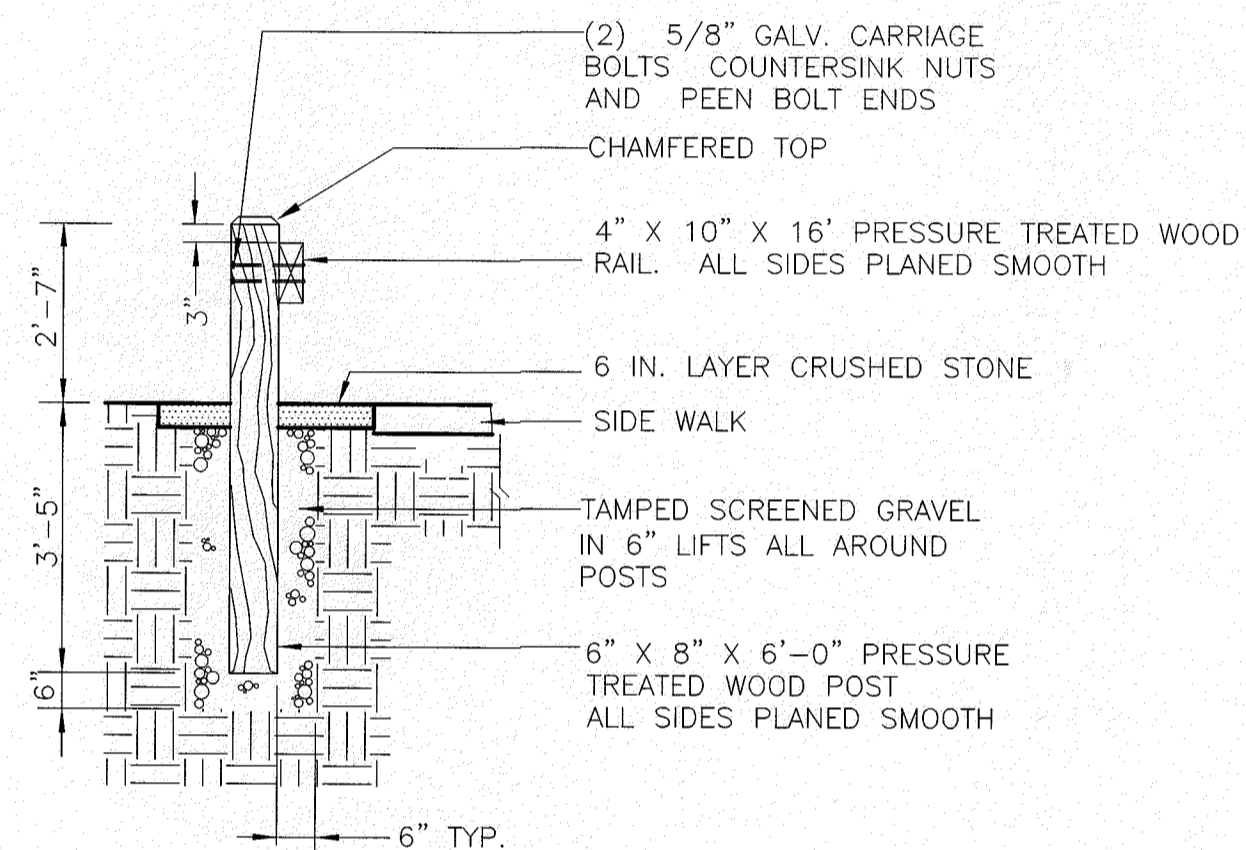


**SIGHT DISTANCE PLAN & PROFILE**  
 SCALE: 1" = 40' (HOR.)  
 1" = 4' (VERT.)

- PLAN NOTES:**
1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
  2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
  3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
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  5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
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  10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORDON OFF EXISTING TREES TO REMAIN.
  11. ALL CLEARING, EXCAVATING AND FILLING WILL BE IN ACCORDANCE WITH CHAPTER 375 SECTION 7.5 AND 8.2.1.
  12. REFER TO GENERAL NOTES SHOWN ON THE COVER SHEET.



**CUL-DE-SAC LANDSCAPE PLAN**  
 SCALE: 1" = 40' (HOR.)



**WOOD GUARDRAIL DETAIL**  
 (NOT TO SCALE)

- BENCHMARKS: (N.A.V.D. 88)**
- #1 TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
  - #2 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
  - #3 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

- REQUESTED SHEET WAIVERS:**
1. SECTION 6.4.D.(1) WAIVE REQUIREMENT TO SHOW THE ROADWAY AND SIDEWALK LOCATIONS DESIGNATED WITH WIDTHS AND RADIUS AS THE ROADWAY RADIUS ARE SHOWN IN PLAN VIEW AND THE SIDEWALK IS SHOWN ON THE ROADWAY SECTION DETAIL SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.
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  3. SECTION 6.4.B.(4) WAIVE THE REQUIREMENT TO SHOW THE SPECIES OF TREES, THE LOCATIONS, CALIPERS AND CLASSIFICATION (I.E. CONIFER OR DECIDUOUS) ARE SHOWN.
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  5. SECTION 6.4.D.(11) WAIVE REQUIREMENT TO SHOW INSERT OF THE DETENTION BASIN AS THE INSERT IS SHOWN ON DETAIL SHEET 3 OF 3.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN  
 DATE: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK  
 LYNNFIELD PLANNING BOARD

DATE: \_\_\_\_\_

**ZONING DISTRICT: RB**

- MINIMUM LOT AREA = 30,000 S.F.
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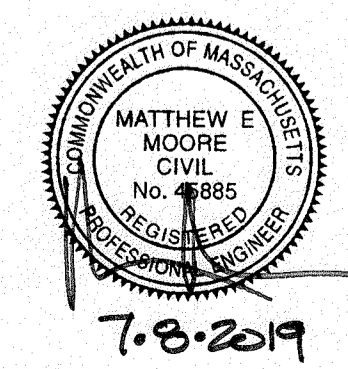
PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

**OWNERS:**  
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 ASSESSOR'S REFERENCE:  
 MAP 34 LOT 2015

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 DEED REFERENCE:  
 BOOK 32841 PAGE 114  
 ASSESSOR'S REFERENCE:  
 MAP 34 LOT 2027

JANE W. COONROD  
 349 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE:  
 BOOK 6466 PAGE 334  
 ASSESSOR'S REFERENCE:  
 MAP 34 LOT 2055



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

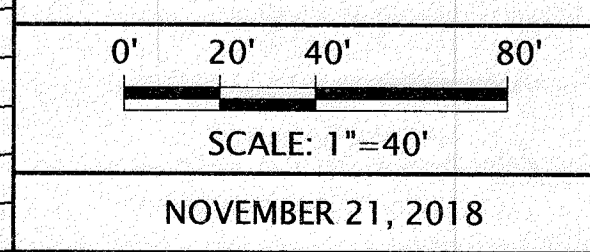
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3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE TOPOGRAPHIC PLAN**  
**TUTTLE LANE**  
 LYNNFIELD, MA

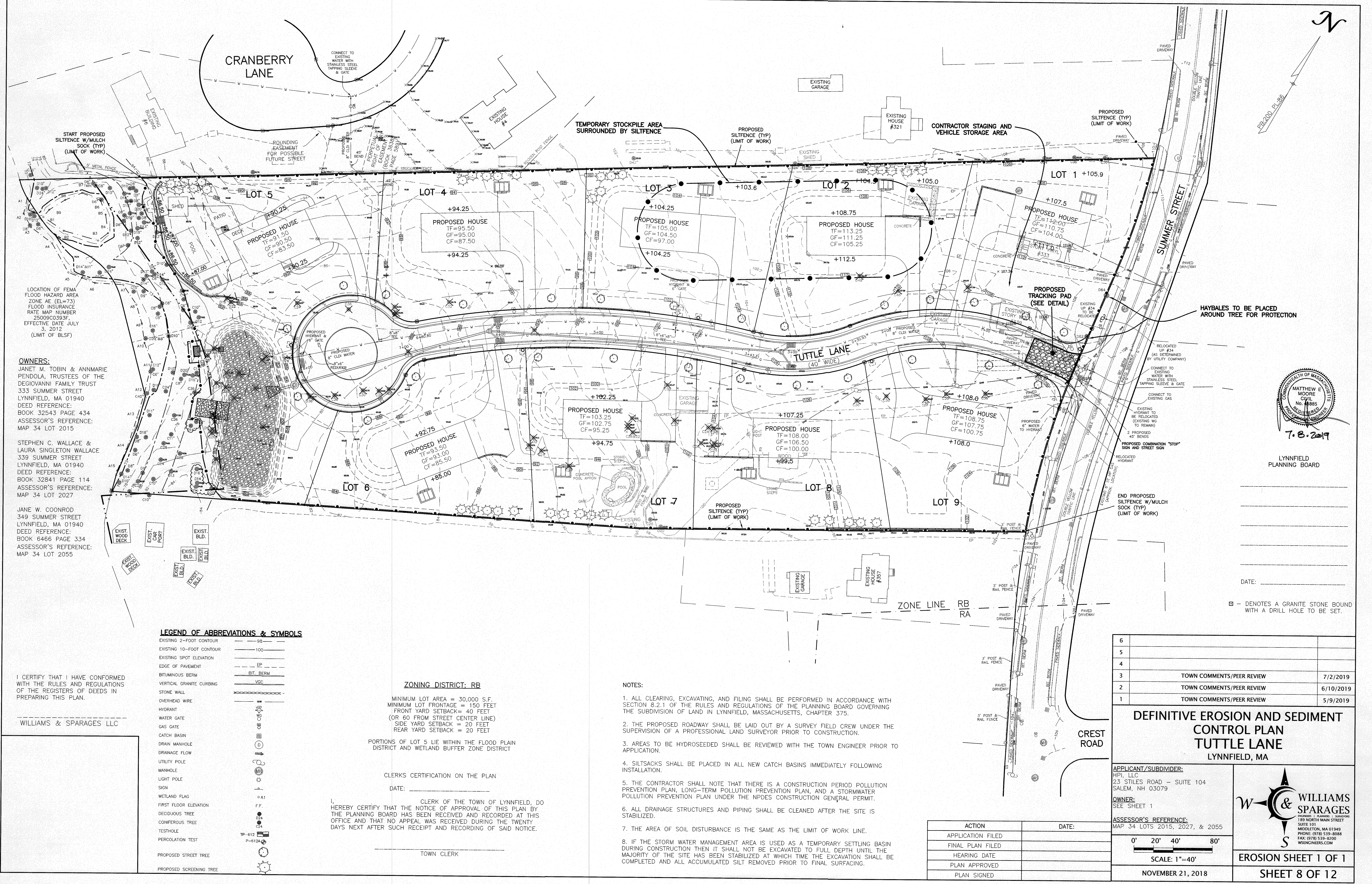
**APPLICANT/SUBDIVIDER:**  
 HPI, LLC  
 23 STILES ROAD - SUITE 104  
 SALEM, NH 03079

**OWNER:**  
 SEE ABOVE

**ASSESSOR'S REFERENCE:**  
 MAP 34 LOTS 2015, 2027, & 2055







LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 25009C0393F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

**OWNERS:**  
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
 333 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32543 PAGE 434  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
 339 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 32841 PAGE 114  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD  
 349 SUMMER STREET  
 LYNNFIELD, MA 01940  
 DEED REFERENCE: BOOK 6466 PAGE 334  
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

**LEGEND OF ABBREVIATIONS & SYMBOLS**

- EXISTING 2-FOOT CONTOUR ——— 98
- EXISTING 10-FOOT CONTOUR ——— 100
- EXISTING SPOT ELEVATION ———
- EDGE OF PAVEMENT ——— EP
- BITUMINOUS BERM ——— BIT\_BERM
- VERTICAL GRANITE CURBING ——— VGC
- STONE WALL ———
- OVERHEAD WIRE ———
- HYDRANT ———
- WATER GATE ———
- GAS GATE ———
- CATCH BASIN ———
- DRAIN MANHOLE ———
- DRAINAGE FLOW ———
- UTILITY POLE ———
- MANHOLE ———
- LIGHT POLE ———
- SIGN ———
- WETLAND FLAG ———
- FIRST FLOOR ELEVATION ———
- DECIDUOUS TREE ———
- CONIFEROUS TREE ———
- TESTHOLE ———
- PERCOLATION TEST ———
- PROPOSED STREET TREE ———
- PROPOSED SCREENING TREE ———

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC

**ZONING DISTRICT: RB**

MINIMUM LOT AREA = 30,000 S.F.  
 MINIMUM LOT FRONTAGE = 150 FEET  
 FRONT YARD SETBACK = 40 FEET  
 (OR 60 FROM STREET CENTER LINE)  
 SIDE YARD SETBACK = 20 FEET  
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

CLERKS CERTIFICATION ON THE PLAN

DATE: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

**NOTES:**

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD, MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- AREAS TO BE HYDROSEEDED SHALL BE REVIEWED WITH THE TOWN ENGINEER PRIOR TO APPLICATION.
- SILTSACKS SHALL BE PLACED IN ALL NEW CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION.
- THE CONTRACTOR SHALL NOTE THAT THERE IS A CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN, LONG-TERM POLLUTION PREVENTION PLAN, AND A STORMWATER POLLUTION PREVENTION PLAN UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.
- ALL DRAINAGE STRUCTURES AND PIPING SHALL BE CLEANED AFTER THE SITE IS STABILIZED.
- THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.
- IF THE STORM WATER MANAGEMENT AREA IS USED AS A TEMPORARY SETTLING BASIN DURING CONSTRUCTION THEN IT SHALL NOT BE EXCAVATED TO FULL DEPTH UNTIL THE MAJORITY OF THE SITE HAS BEEN STABILIZED AT WHICH TIME THE EXCAVATION SHALL BE COMPLETED AND ALL ACCUMULATED SILT REMOVED PRIOR TO FINAL SURFACING.

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE EROSION AND SEDIMENT CONTROL PLAN**  
**TUTTLE LANE**  
 LYNNFIELD, MA

**APPLICANT/SUBDIVIDER:**  
 HPI, LLC  
 23 STILES ROAD - SUITE 104  
 SALEM, NH 03079

**OWNER:**  
 SEE SHEET 1

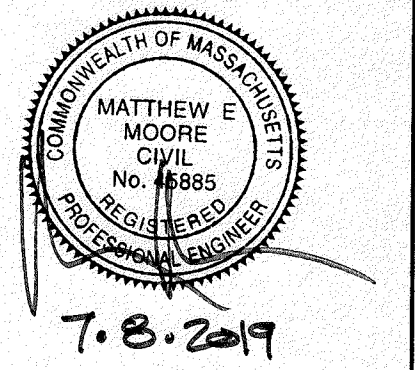
**ASSESSOR'S REFERENCE:**  
 MAP 34 LOTS 2015, 2027, & 2055

0' 20' 40' 80'  
 SCALE: 1"=40'

NOVEMBER 21, 2018



**EROSION SHEET 1 OF 1**  
**SHEET 8 OF 12**

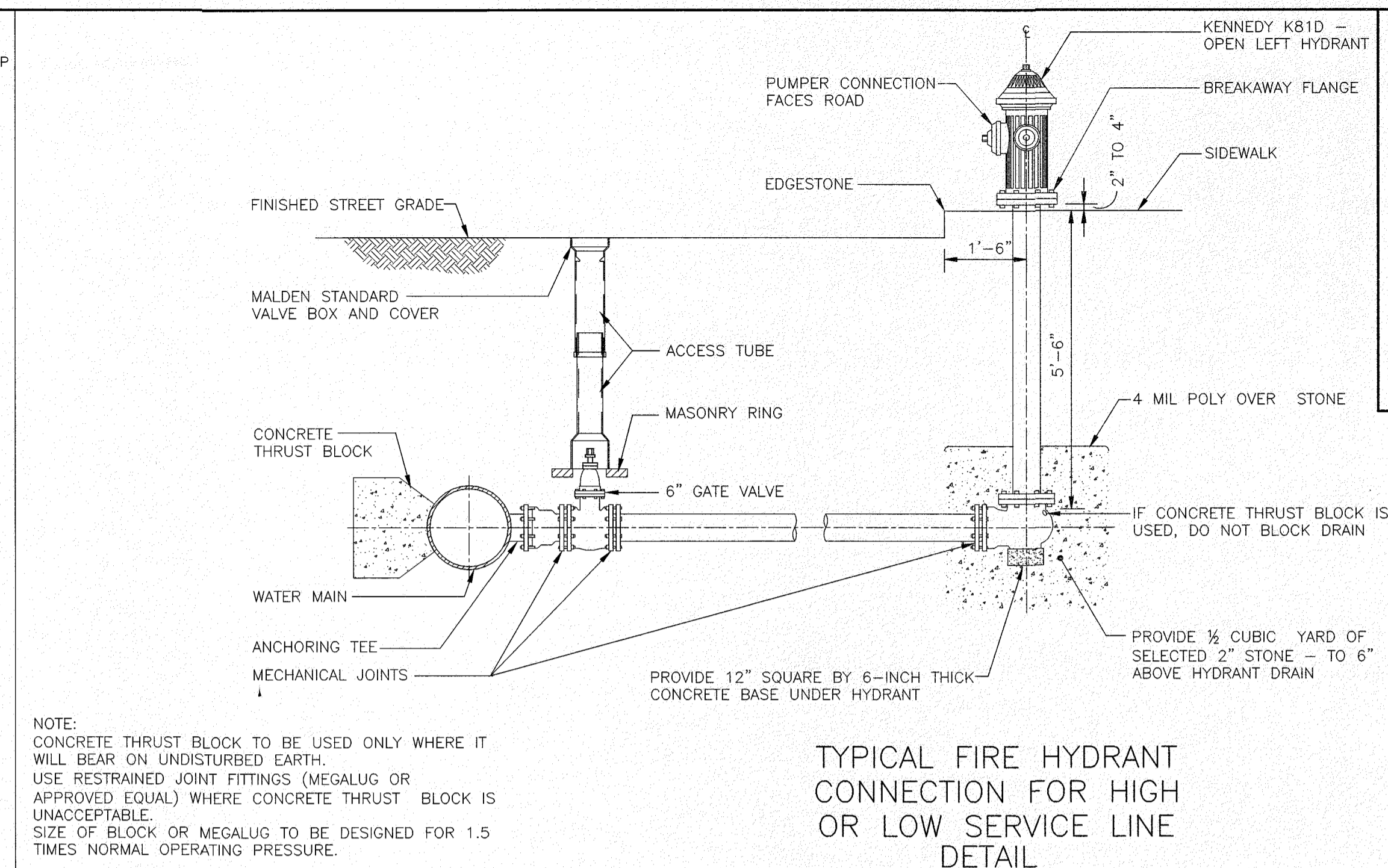
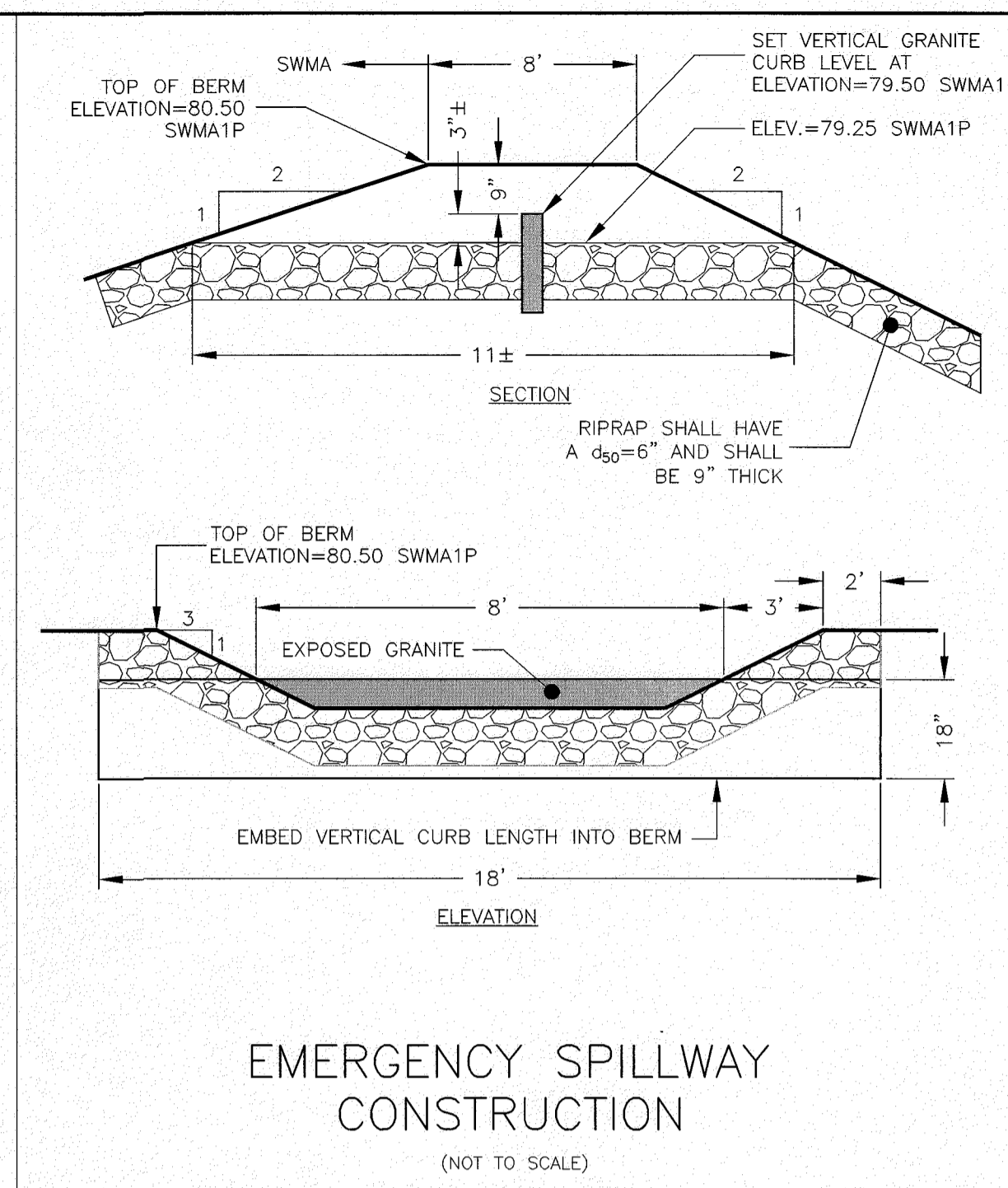
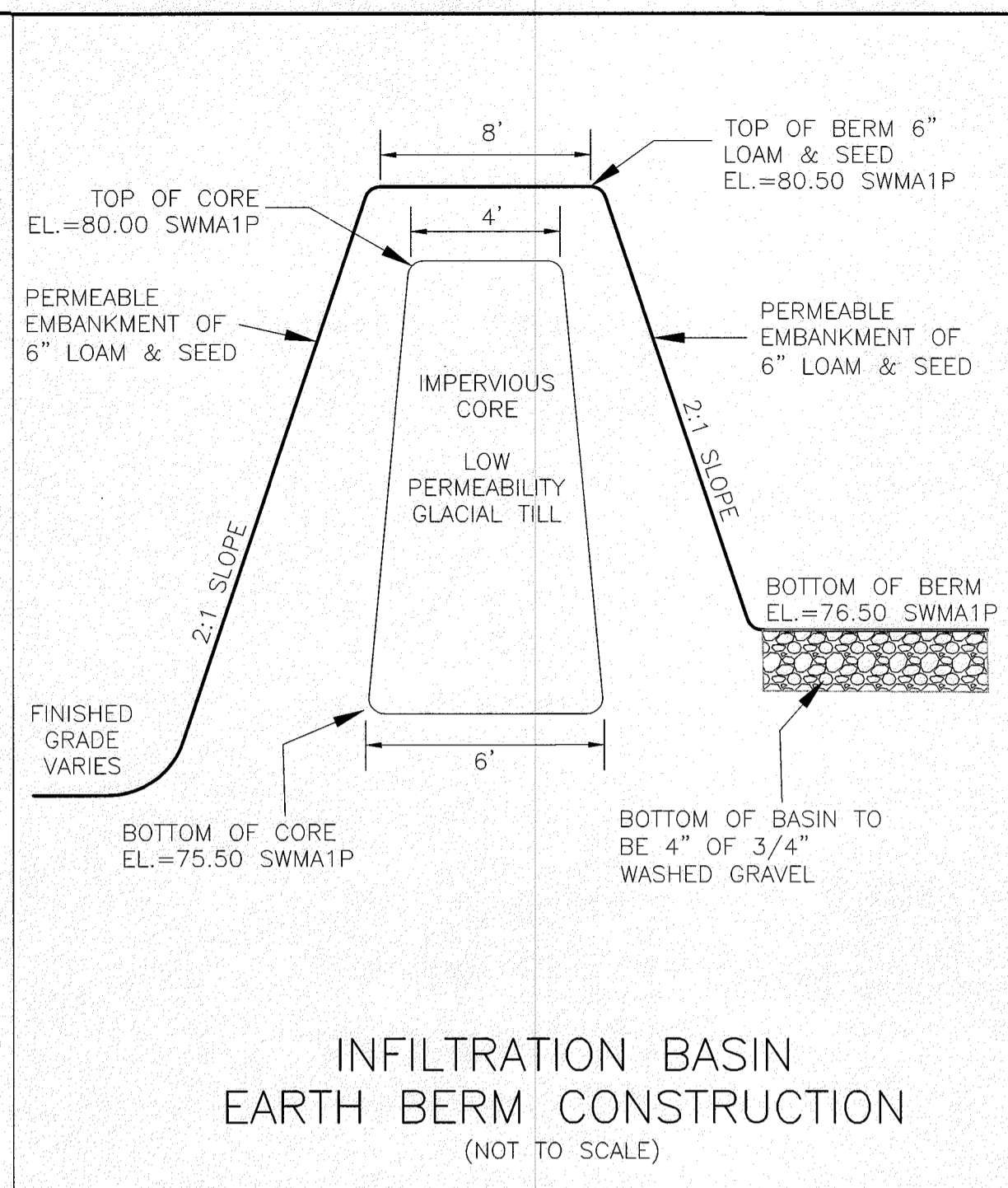
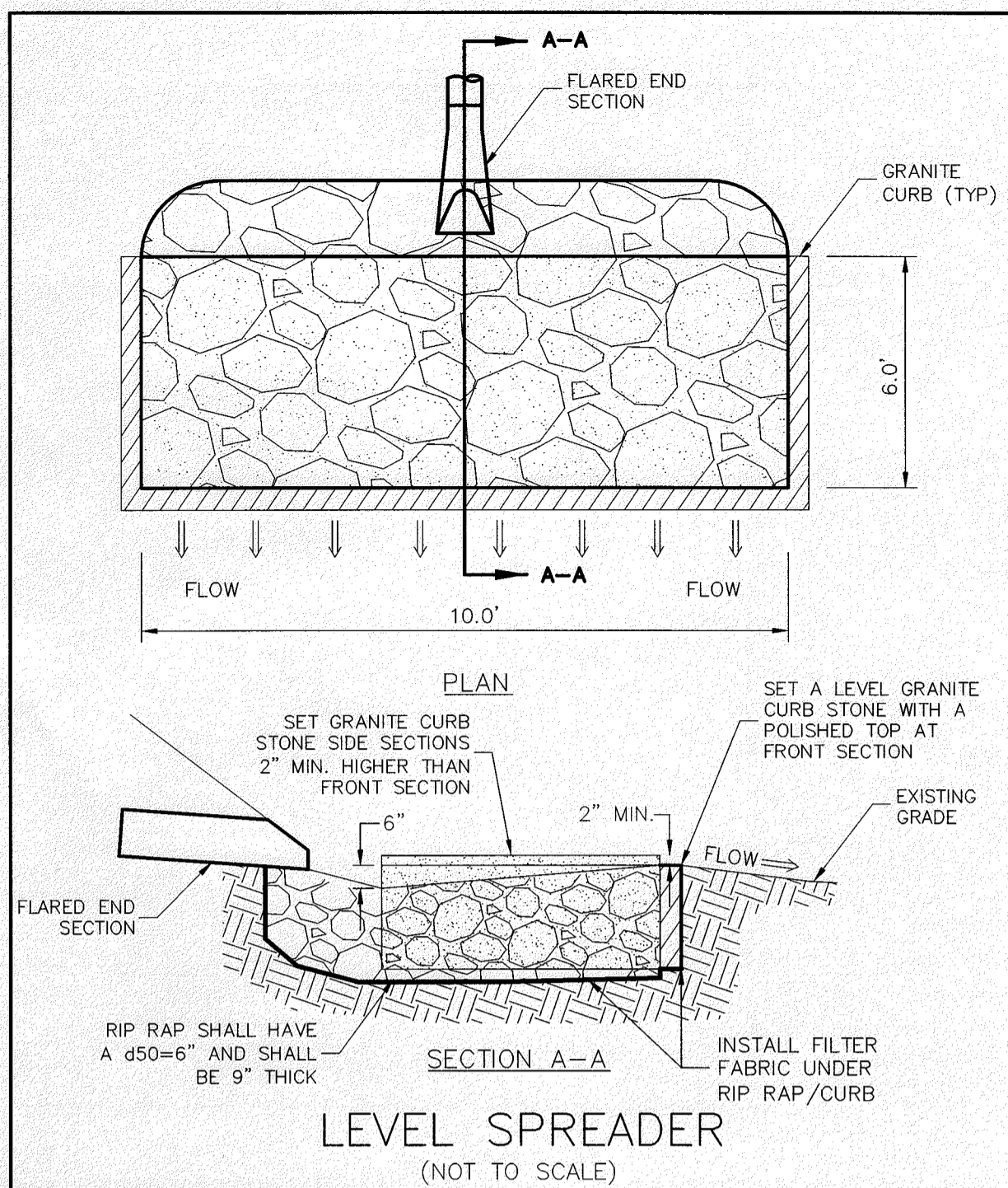


LYNNFIELD PLANNING BOARD

DATE: \_\_\_\_\_

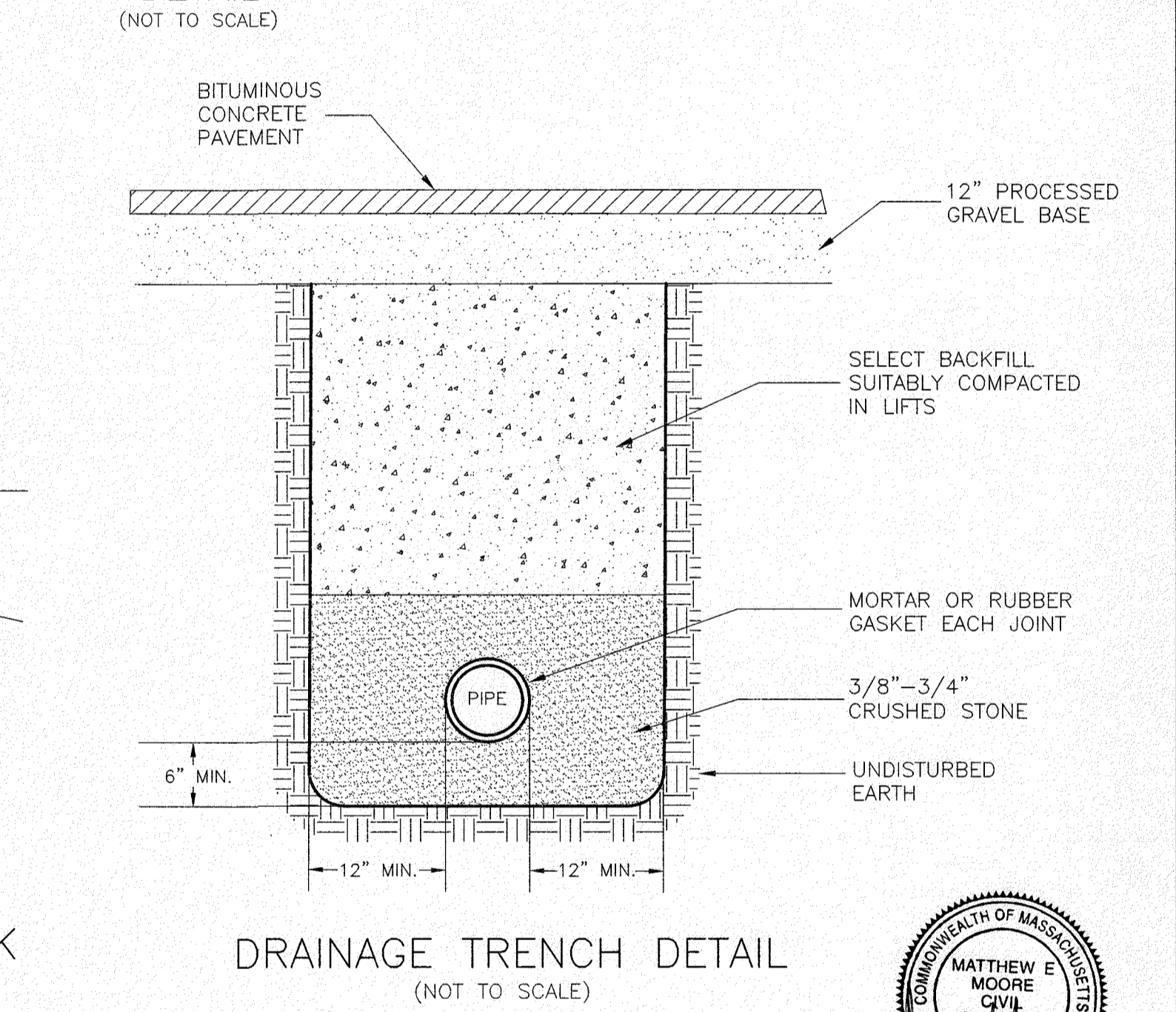
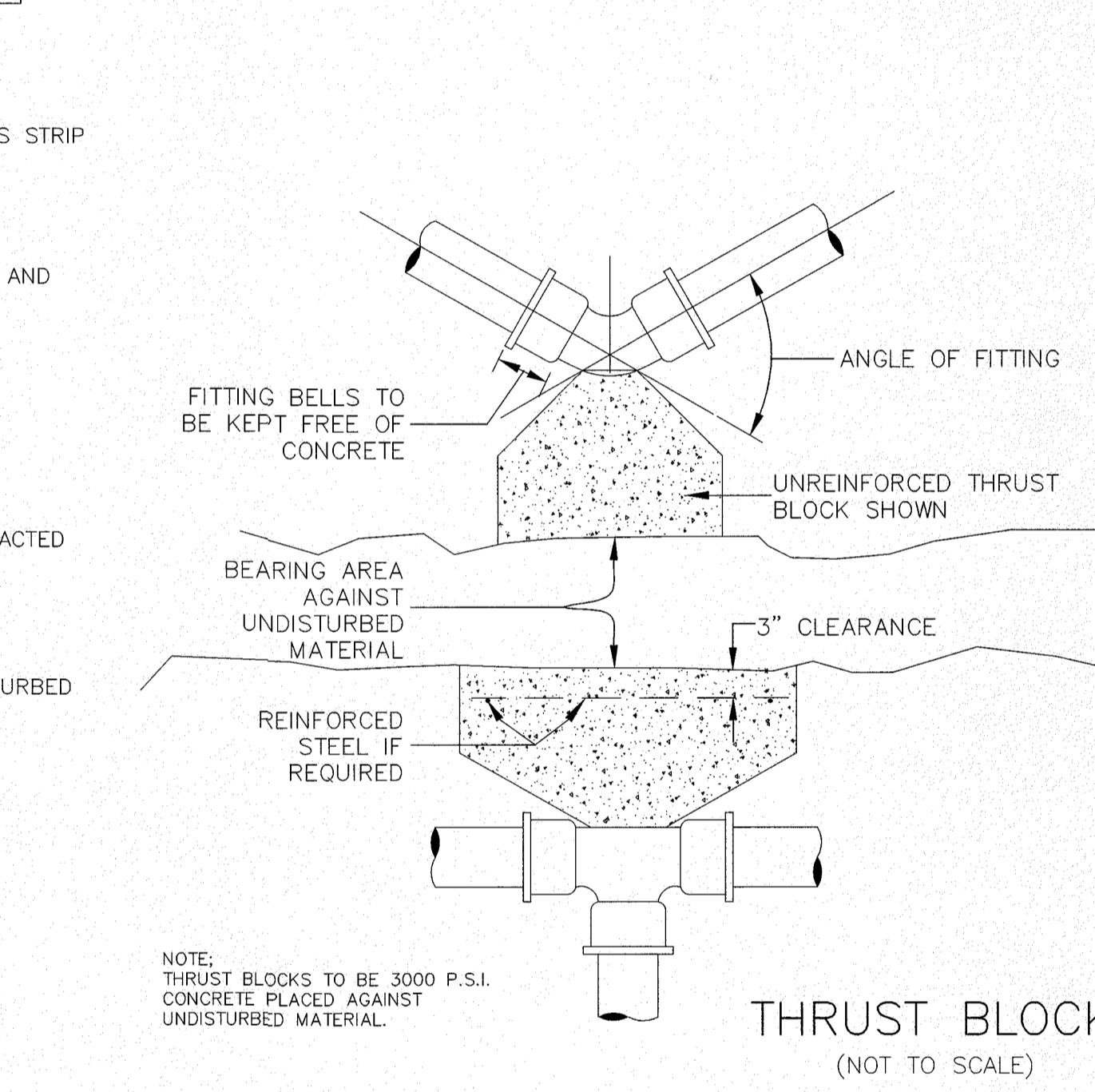
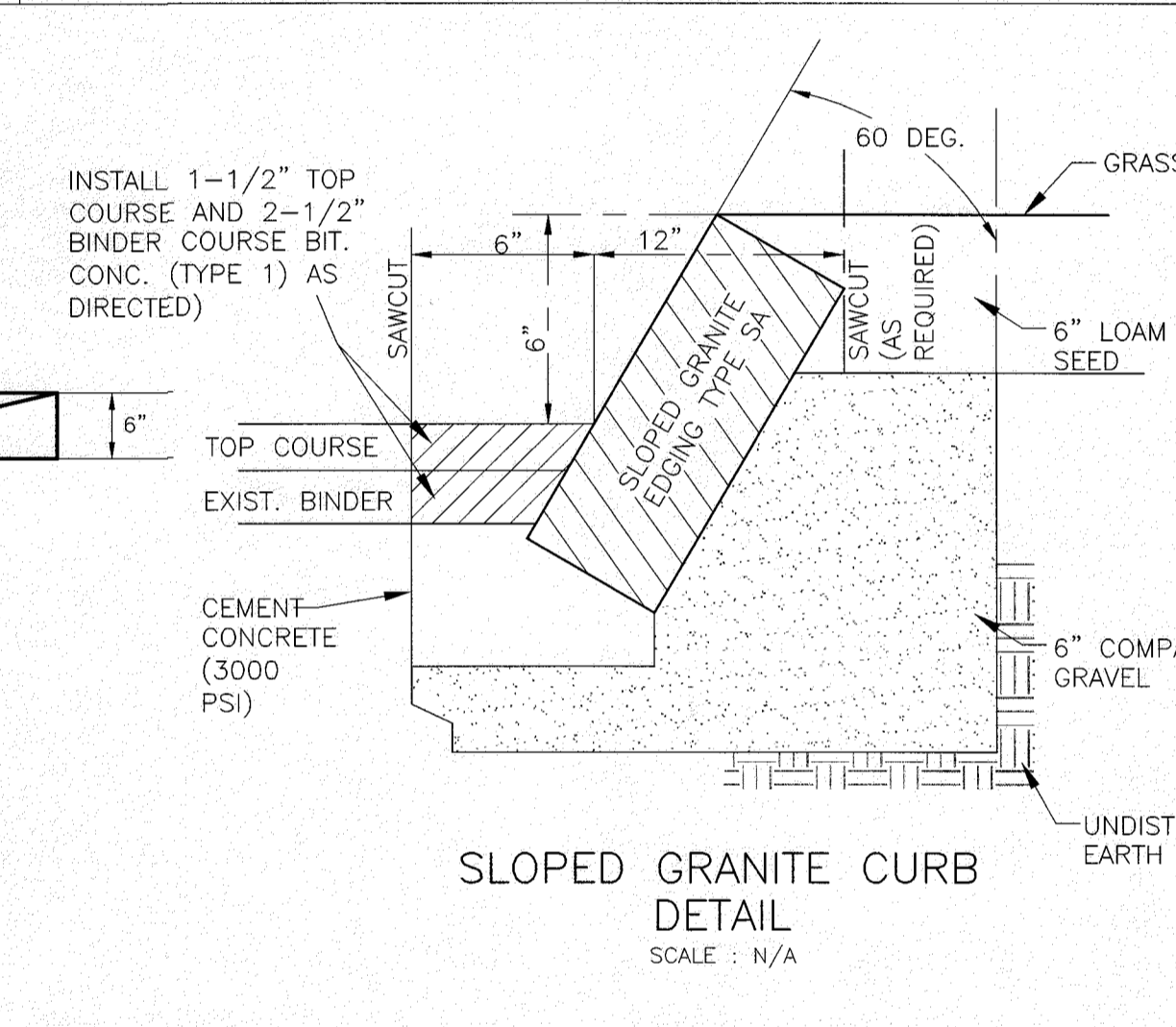
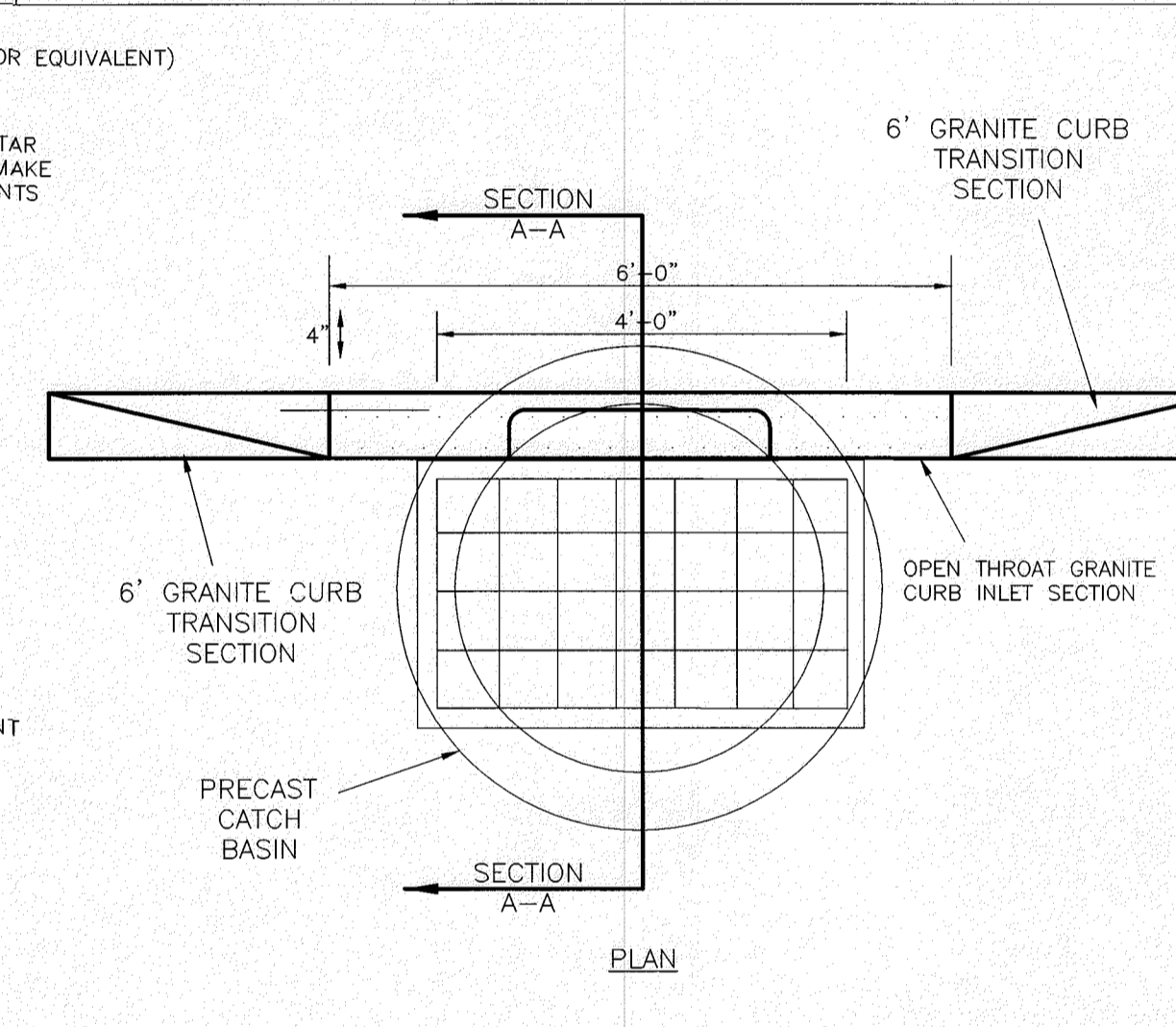
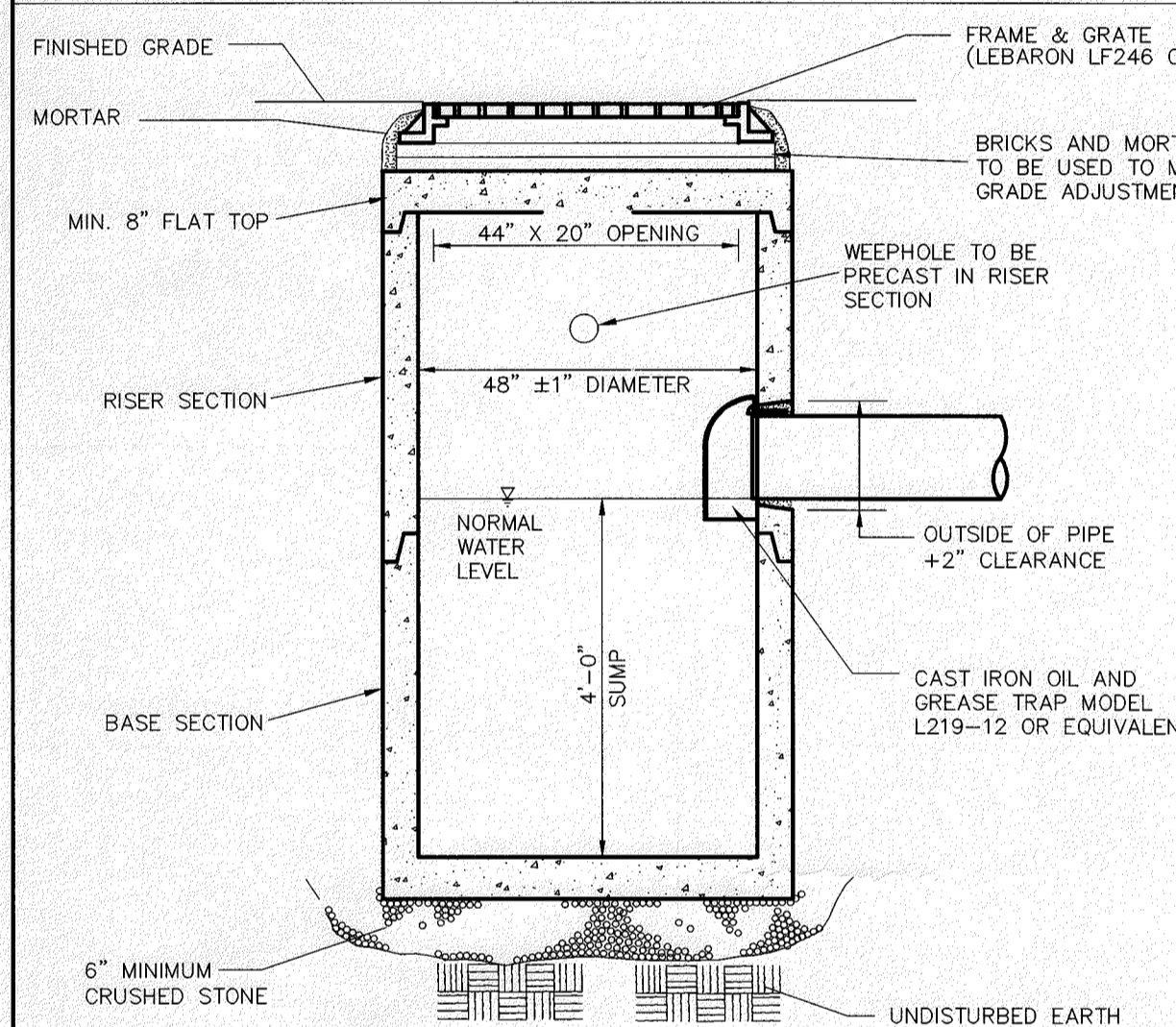
□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.





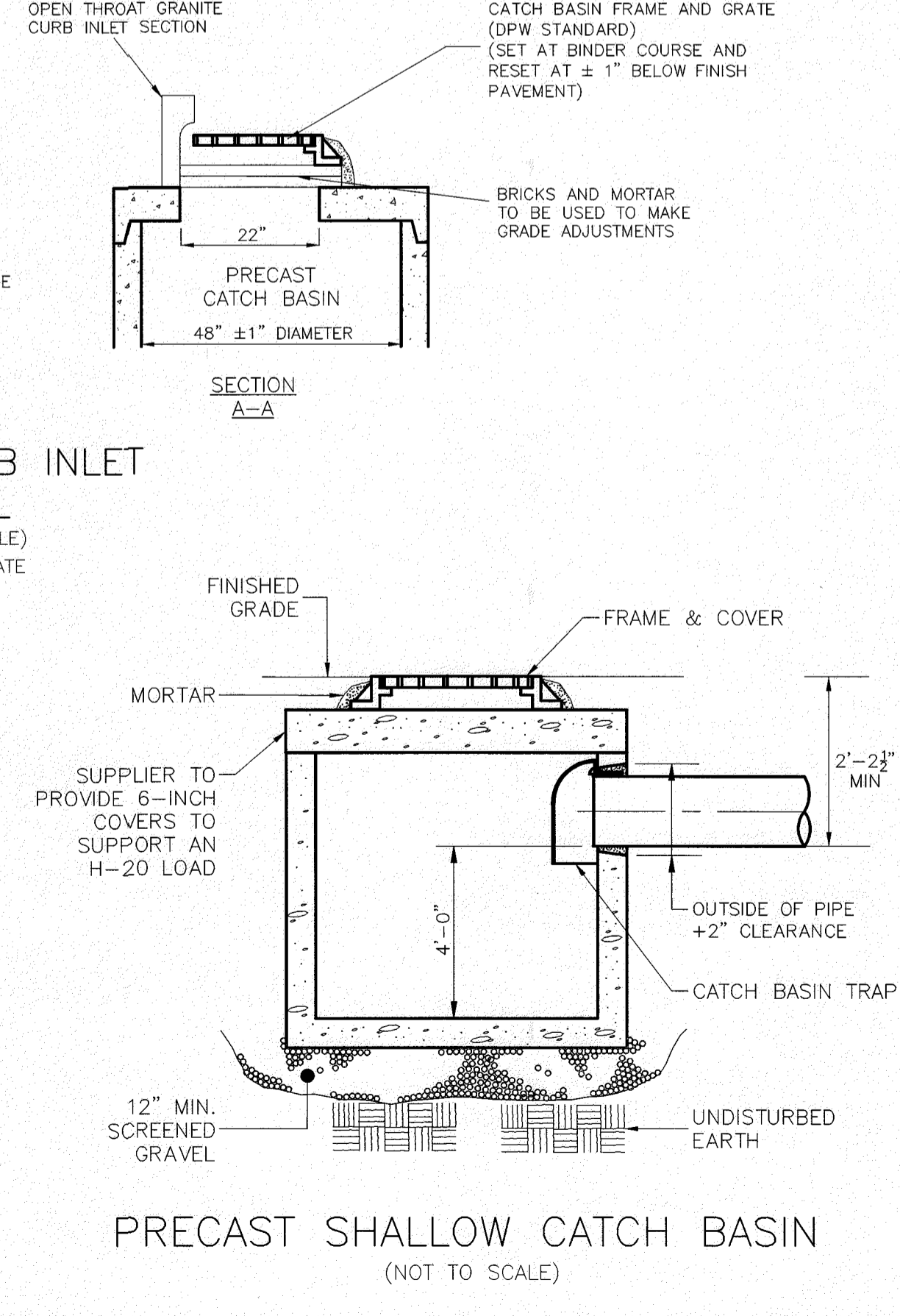
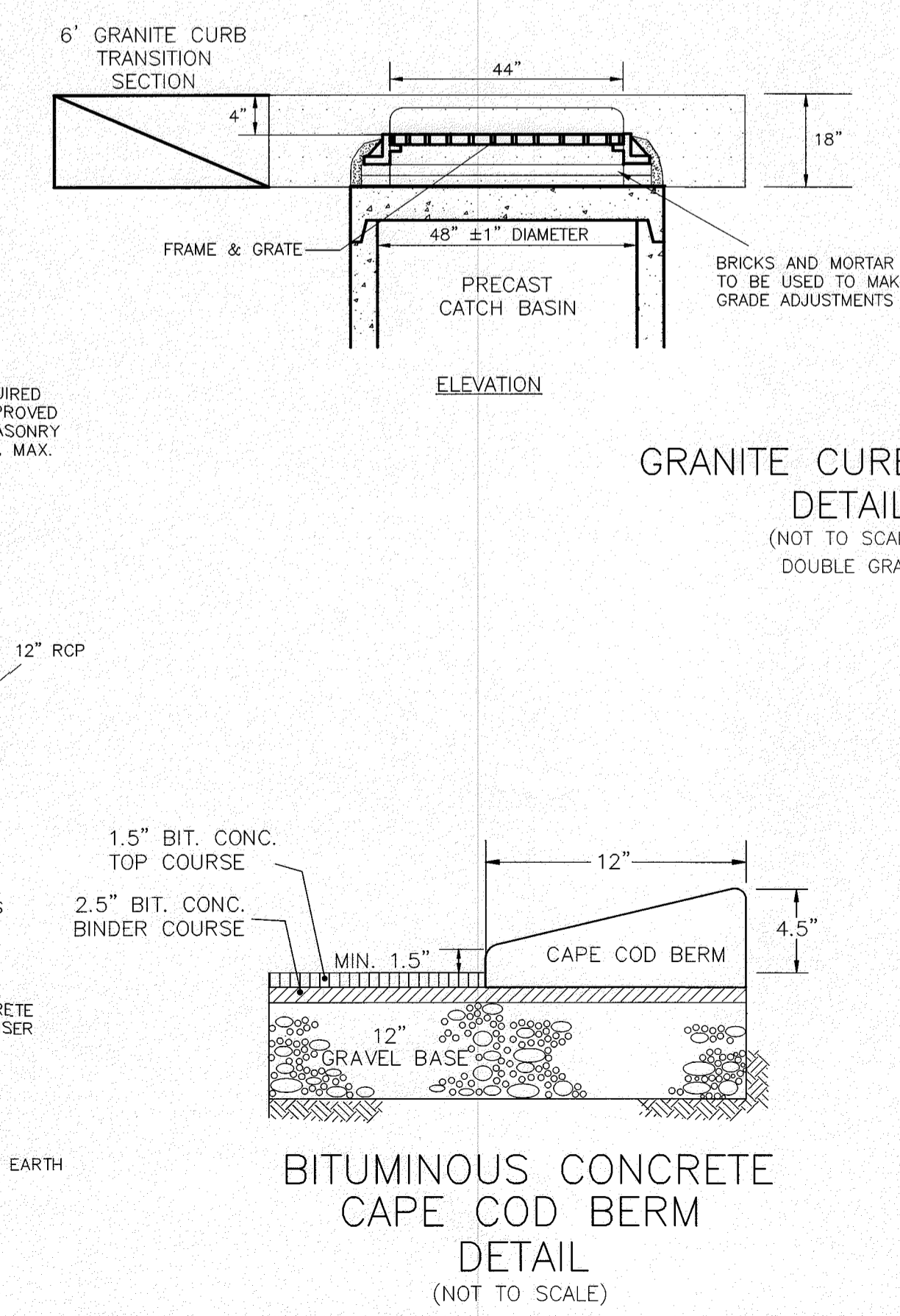
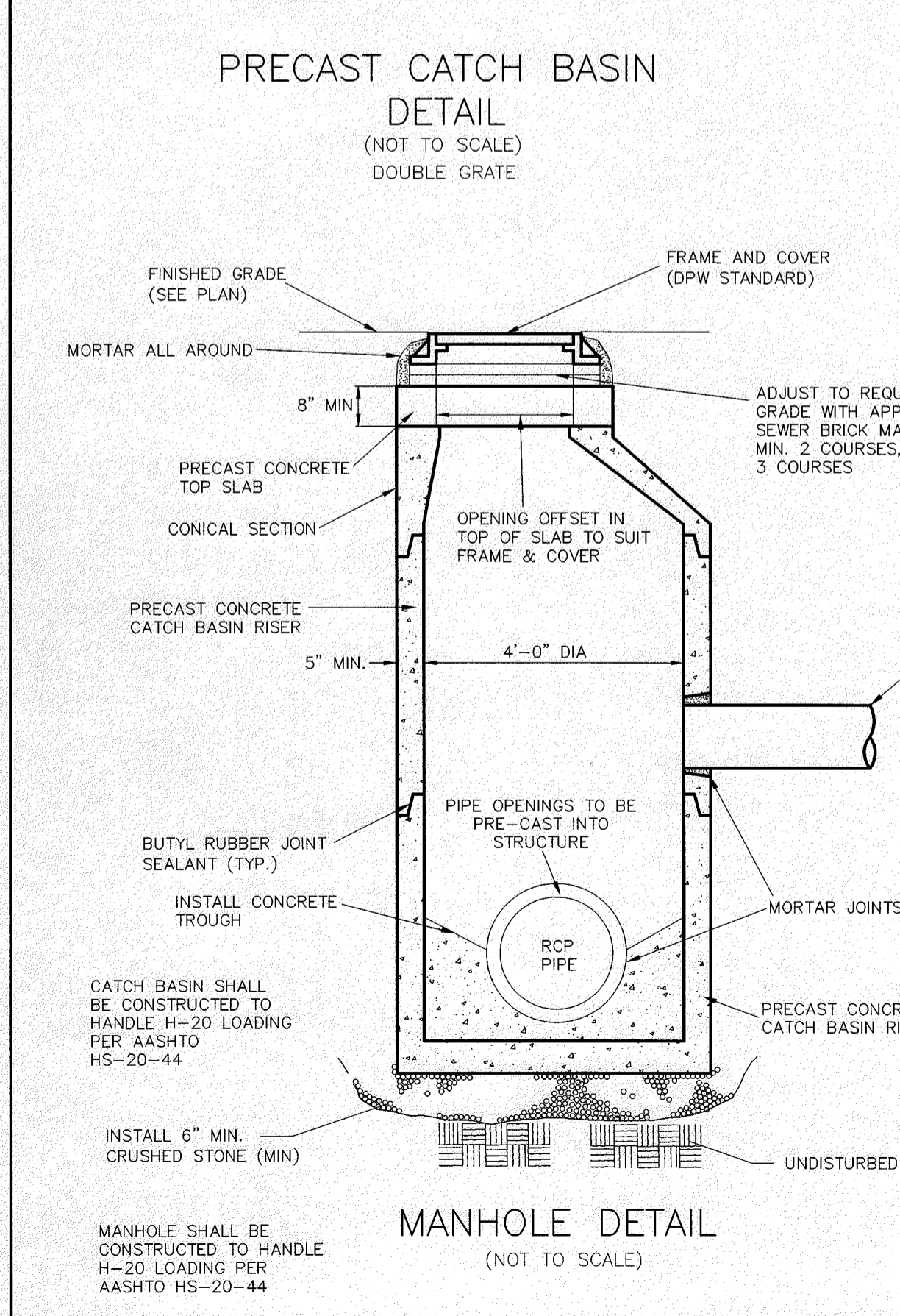
I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC



MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK

PIPE DIAMETER INCHES	6 in.	8 in.	10 in.	12 in.
HYDRANTS, PLUGS, CAPS, AND TEES (S.F.)	4	6	9	13
90° (S.F.)	8	12	19	26
45° (S.F.)	5	8	13	18
22 1/2° (S.F.)	3	5	7	10



LYNNFIELD PLANNING BOARD

OWNERS:  
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333 SUMMER STREET  
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DEED REFERENCE: BOOK 32543 PAGE 434  
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JANE W. COONROD  
349 SUMMER STREET  
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CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE: \_\_\_\_\_

CLERK'S CERTIFICATION ON THE PLAN

DATE: \_\_\_\_\_

TOWN CLERK

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

7-8-2019

6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE CONSTRUCTION DETAILS**  
TUTTLE LANE  
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:  
HPI, LLC  
23 STILES ROAD - SUITE 104  
SALEM, NH 03079

OWNER:  
SEE SHEET

ASSESSOR'S REFERENCE:  
MAP 34 LOTS 2015, 2027, & 2055

WILLIAMS & SPARAGES  
189 NORTH MAIN STREET  
SUITE 101  
MIDDLETON, MA 01949  
PHONE: (978) 539-8088  
FAX: (978) 539-8000  
WSENGINEERS.COM

SCALE: AS SHOWN

NOVEMBER 21, 2018

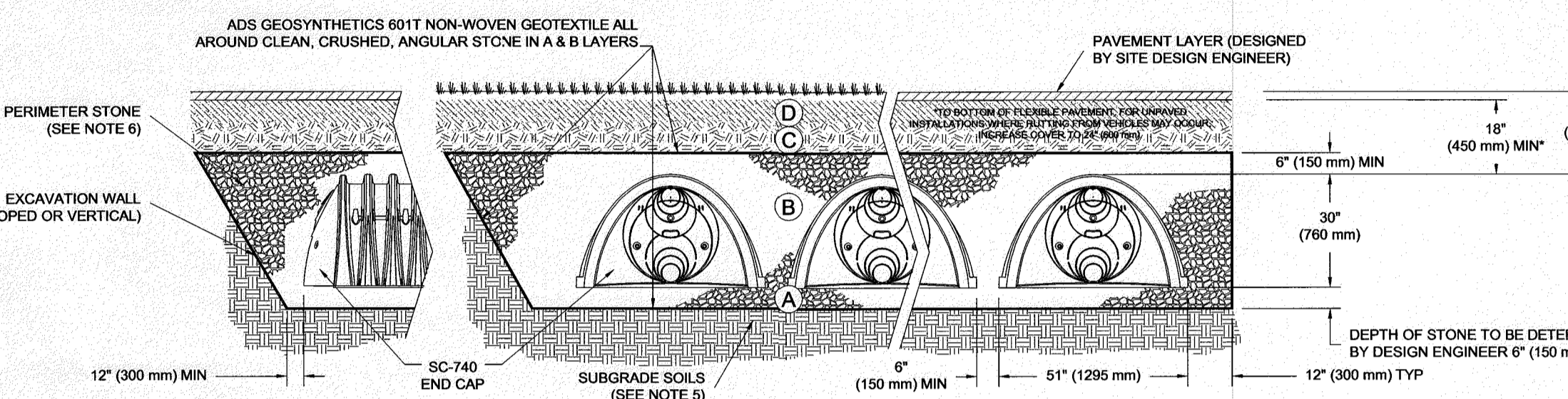
DETAIL SHEET 1 OF 4  
SHEET 9 OF 12

PLAN# 0100358 & 349 Summer Street/Drwg/Williams&Sparages/11/21/2018 13:27 PM, MA

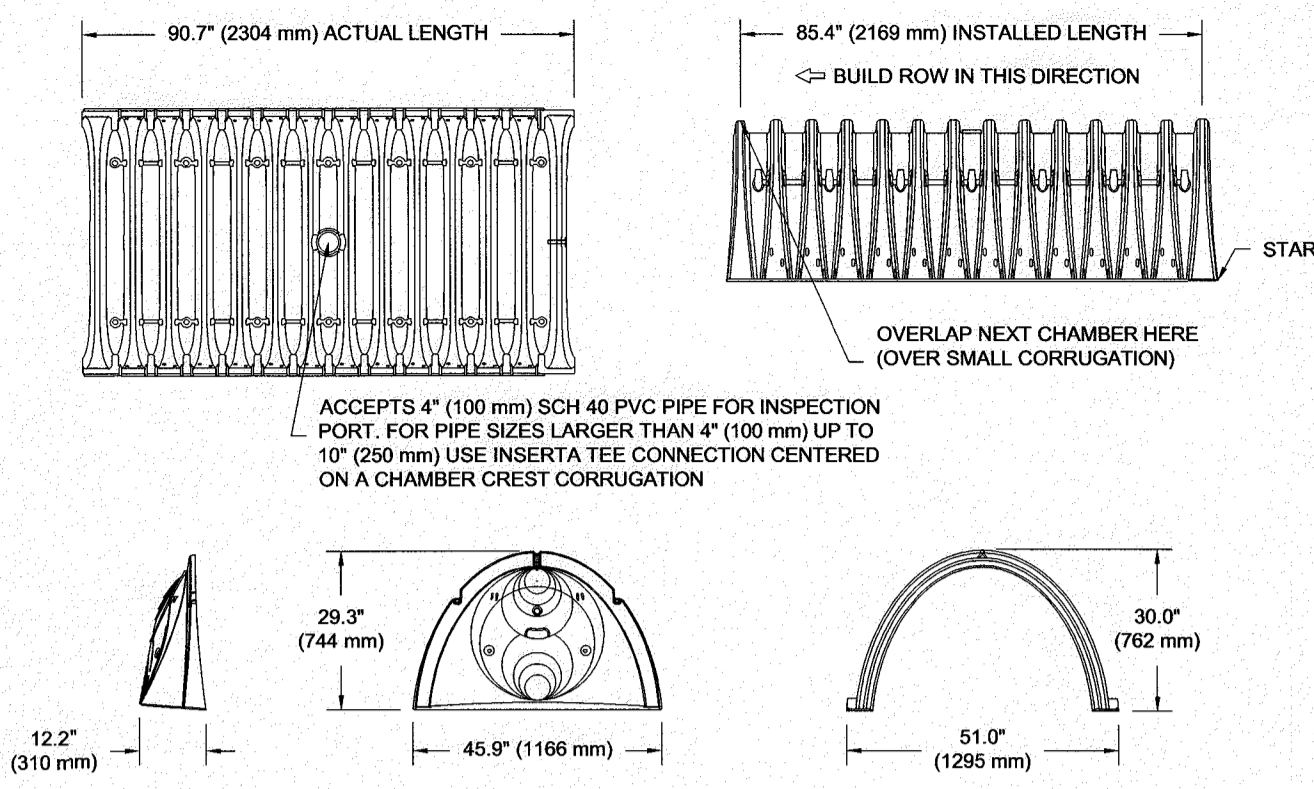
**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXPABLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2.4, A-3 OR AASHTO M43 <sup>1</sup> 3, 3S7, 4, 4F, 5, 5E, 5F, 6, 67, 68, 7, 7R, 8, 8R, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 98% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 96% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN) DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 <sup>1</sup> 3, 3S7, 4, 4F, 5, 5E, 5F	NO COMPACTION REQUIRED.
A FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 <sup>1</sup> 3, 3S7, 4, 4F, 5, 5E, 5F	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. **

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2522 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
  - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
  - THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
  - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
  - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
  - ONCE LAYER 'C' IS PLACED, ANY SOLI/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4" (1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.9 CUBIC FEET (1.30 m <sup>3</sup> )
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2.12 m <sup>3</sup> )
WEIGHT	75.0 lbs. (33.6 kg)

\*ASSUMES 4" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

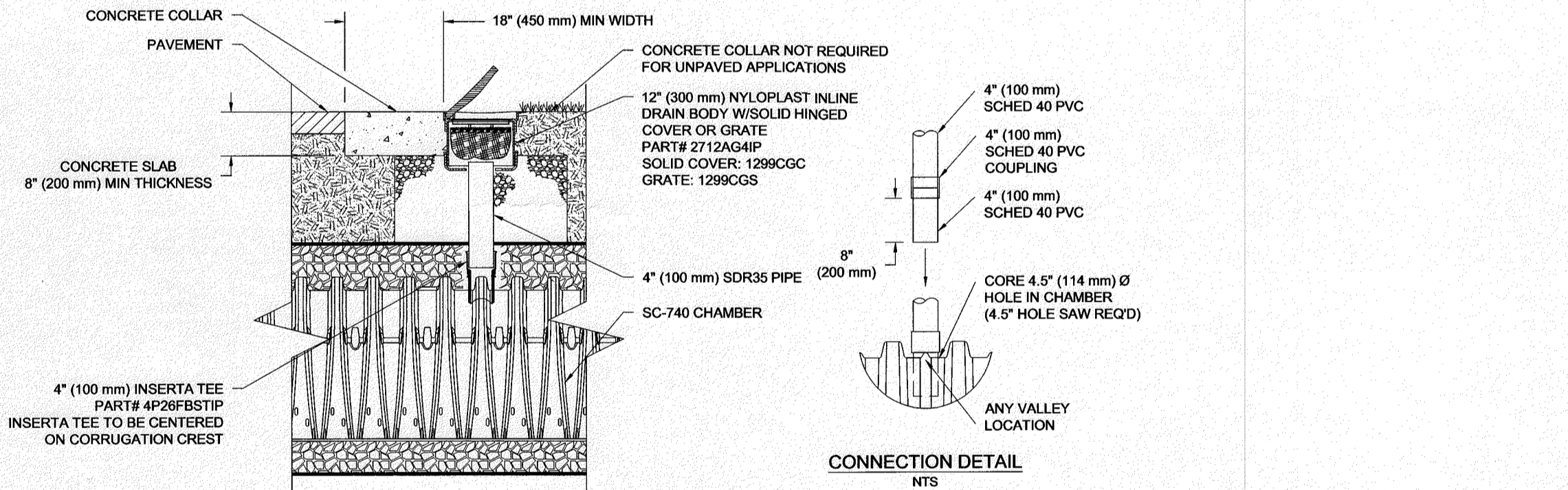
PART #	STUB	A	B	C
SC740EP06T / SC740EP06TFC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	—
SC740EP06B / SC740EP06BFC	6" (150 mm)	—	—	0.5" (13 mm)
SC740EP08T / SC740EP08TFC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	—
SC740EP08B / SC740EP08BFC	8" (200 mm)	—	—	0.6" (16 mm)
SC740EP10T / SC740EP10TFC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	—
SC740EP10B / SC740EP10BFC	10" (250 mm)	—	—	0.7" (18 mm)
SC740EP12T / SC740EP12TFC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	—
SC740EP12B / SC740EP12BFC	12" (300 mm)	—	—	1.2" (30 mm)
SC740EP15T / SC740EP15TFC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	—
SC740EP15B / SC740EP15BFC	15" (375 mm)	—	—	1.3" (33 mm)
SC740EP18T / SC740EP18TFC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	—
SC740EP18B / SC740EP18BFC	18" (450 mm)	—	—	1.6" (41 mm)
SC740EP24B*	24" (600 mm)	18.5" (470 mm)	—	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740EP24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-882-2694.

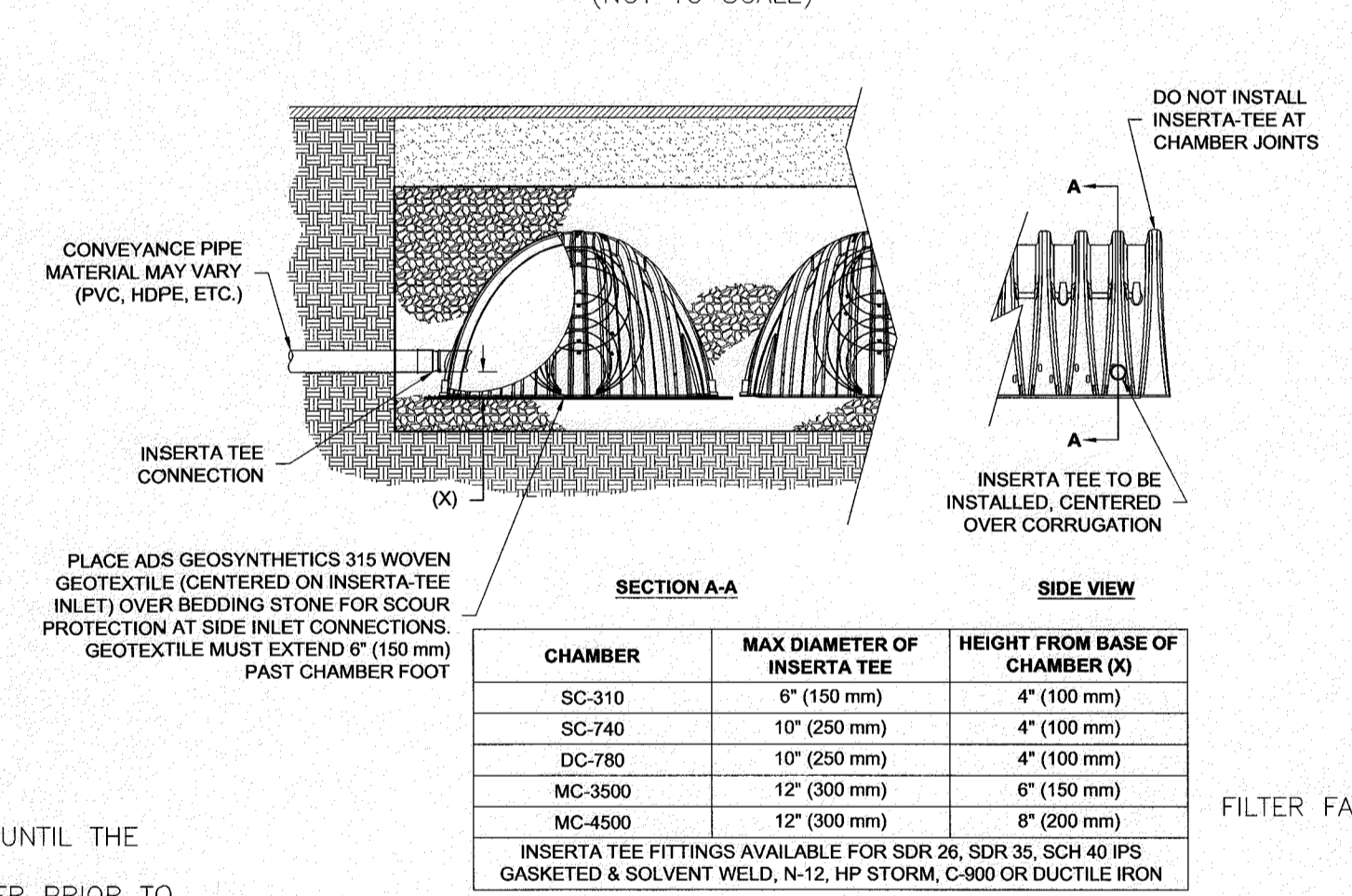
\* FOR THE SC740EP24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

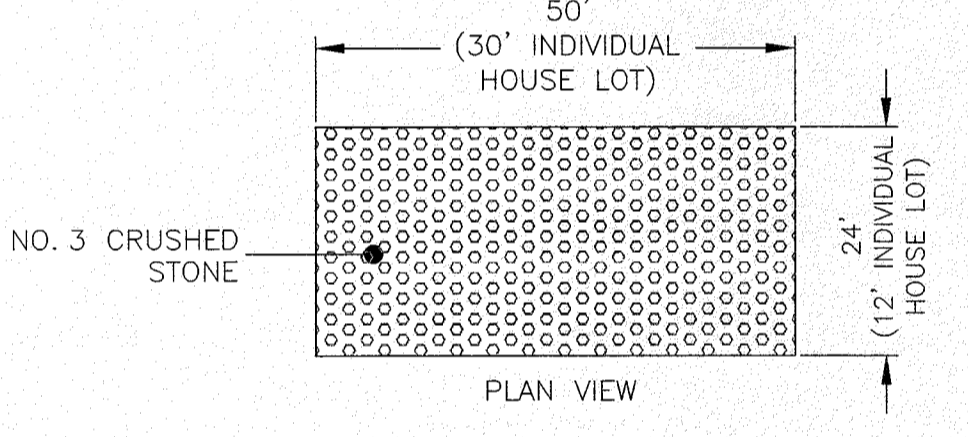
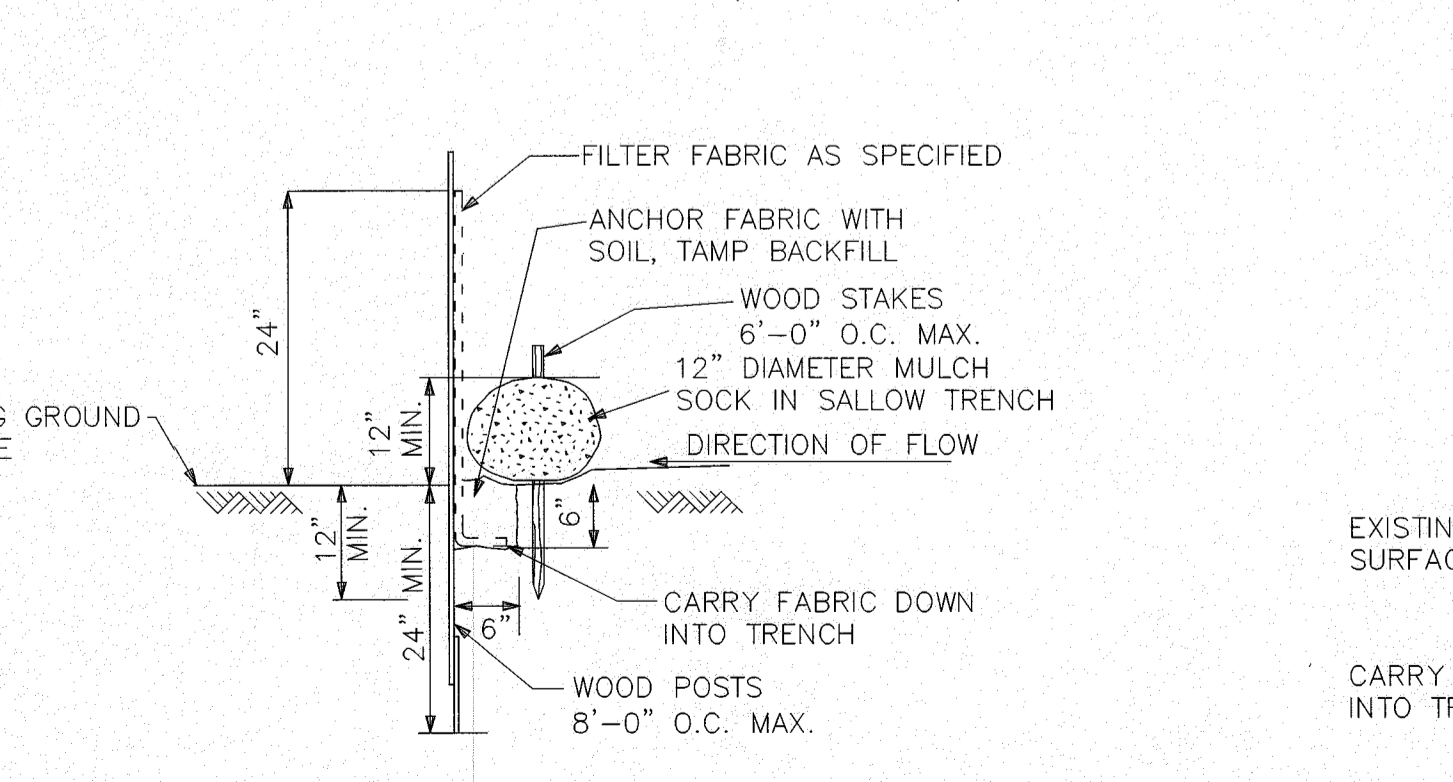
**STORMTECH SC-740 CROSS SECTION**  
(NOT TO SCALE)



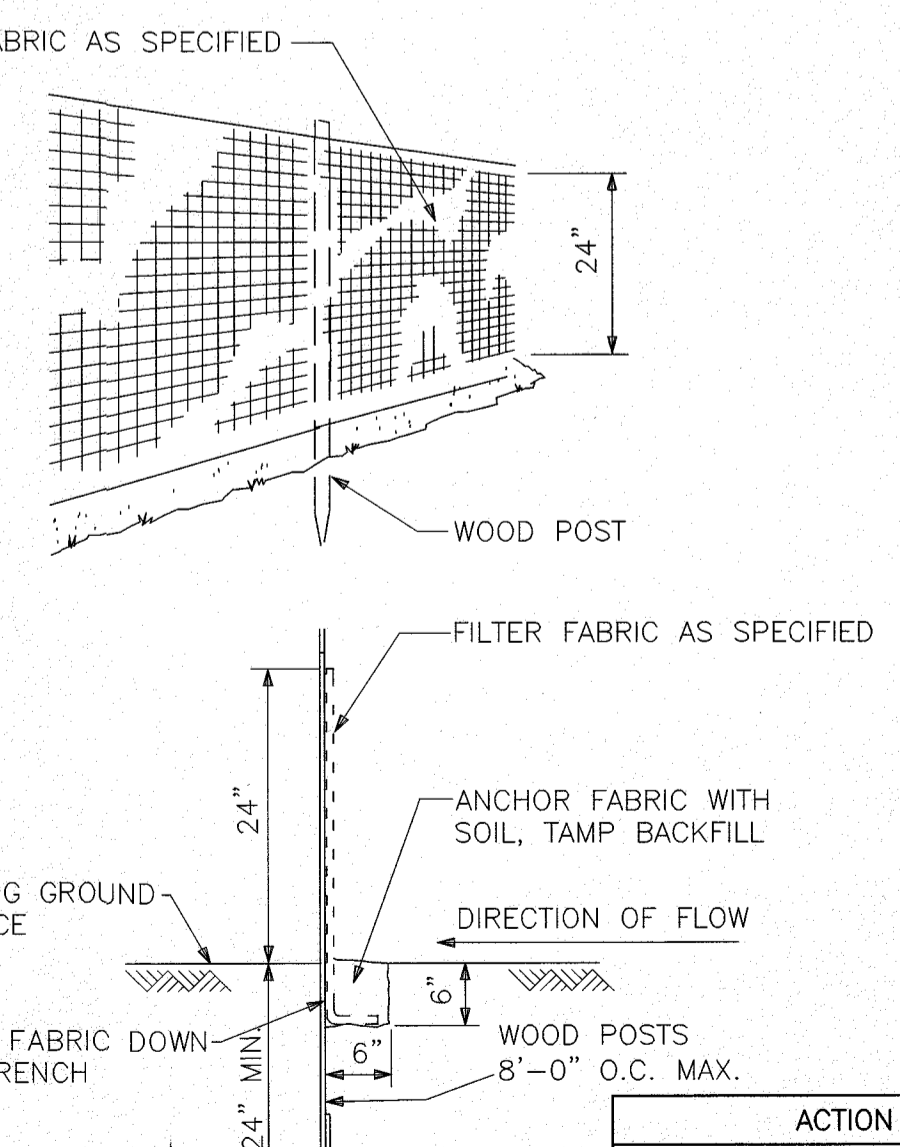
**STORMTECH SC-740 TECHNICAL SPECIFICATIONS**  
(NOT TO SCALE)



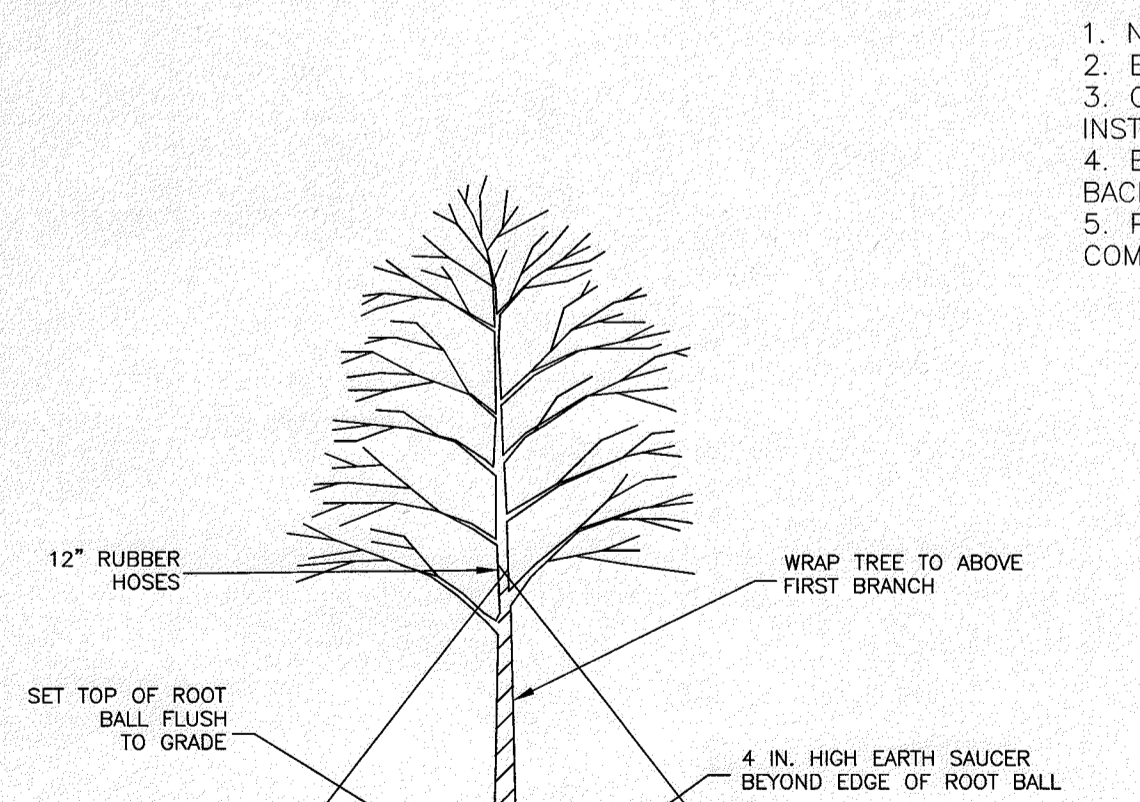
**INSERTA TEE DETAIL**  
(NOT TO SCALE)



**TRACKING PAD**  
(NOT TO SCALE)

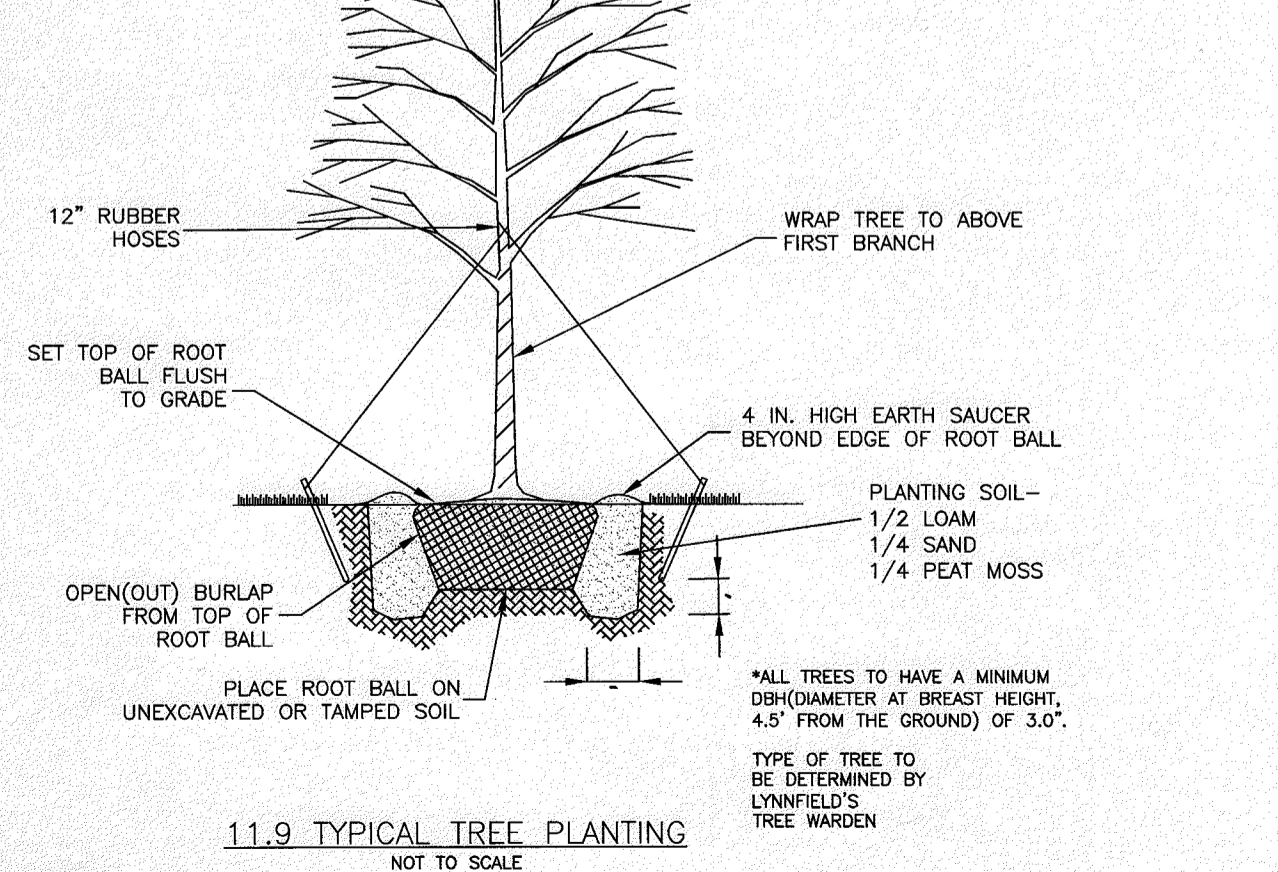


**INSPECTION PORT**  
(NOT TO SCALE)

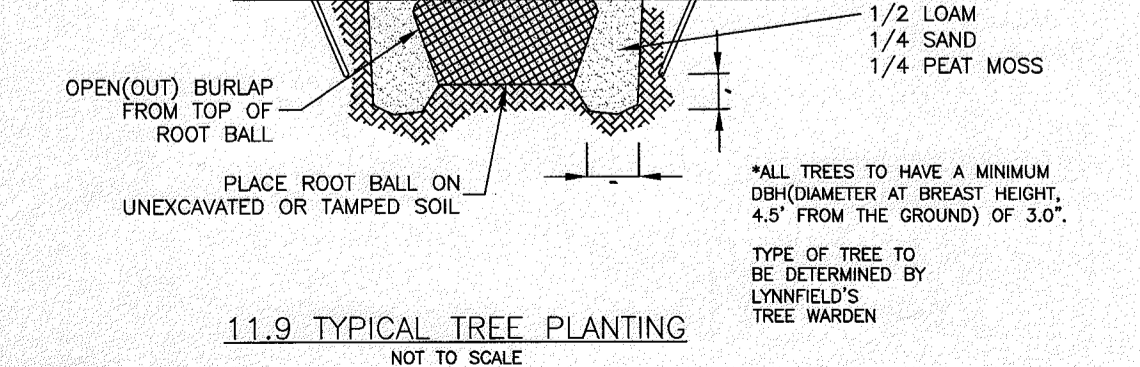


- STORMTECH INSTALLATION NOTES FOR ROOF TOP RUNOFF:**
- NO CONSTRUCTION EQUIPMENT TO BE DRIVEN OVER BOTTOM OF CHAMBER EXCAVATION.
  - EXCAVATION TO BE FREE OF SILT AND SHALL BE INSPECTED BY DESIGN ENGINEER.
  - CARE SHALL BE TAKEN TO PROTECT THE STONE FROM SILT AND OTHER CONTAMINANTS UNTIL THE INSTALLATION IS COMPLETE.
  - BASE STONE WITH CHAMBERS AND FILTER FABRIC TO BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
  - PHOTOGRAPHS OF EACH STEP OF THE INSTALLATION TO BE PROVIDED AFTER THE INSTALLATION IS COMPLETE.

**GRANITE BOUND DETAIL**  
(NOT TO SCALE)

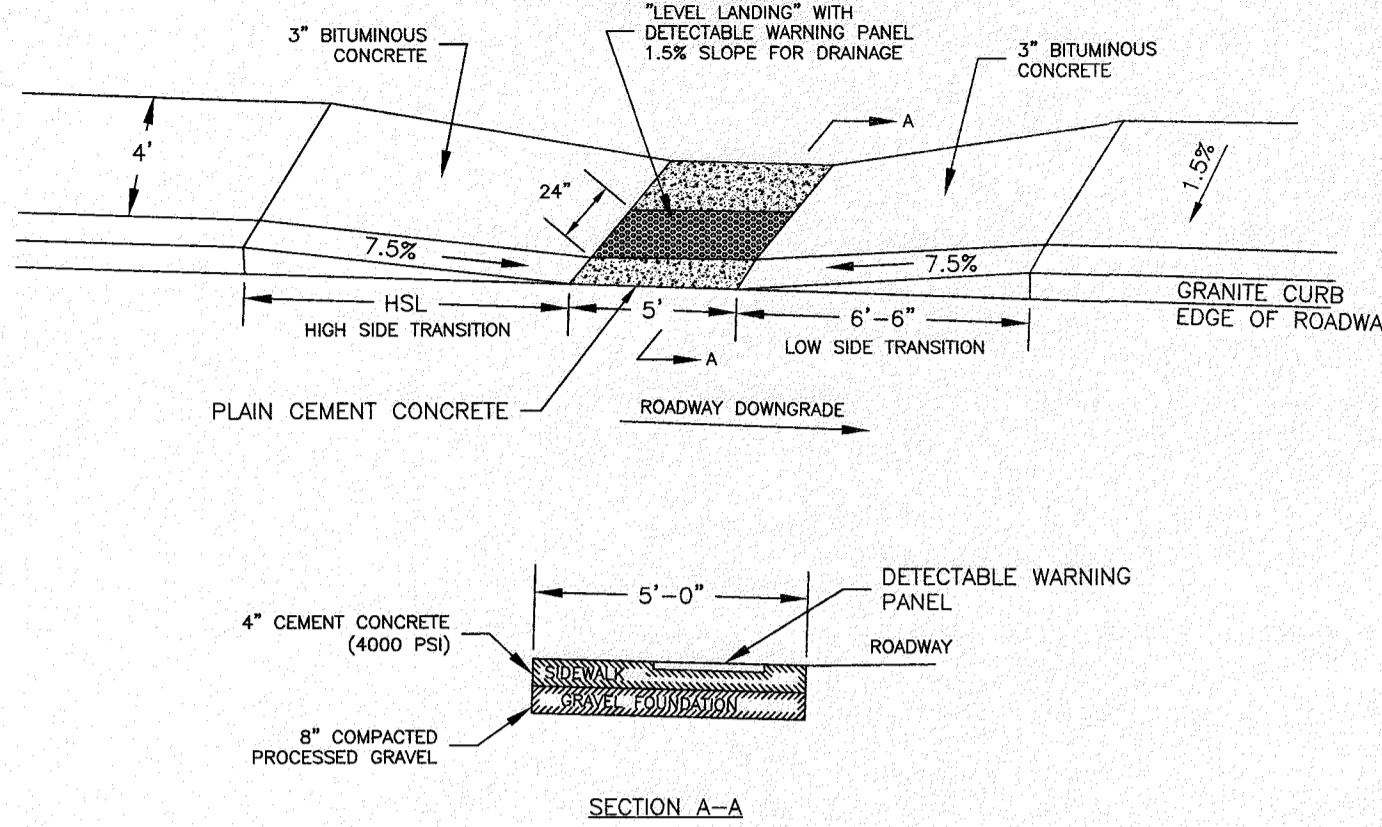


**SILTENCE WITH MULCH SOCK DETAIL**  
(NOT TO SCALE)



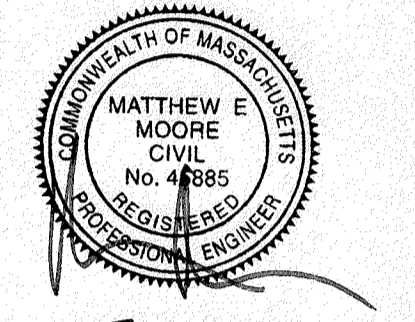
**11.9 TYPICAL TREE PLANTING**  
(NOT TO SCALE)

PROPOSED STREET TREES TO BE APPROVED BY THE TOWN OF LYNNFIELD TREE WARDEN.  
ALL TREES TO HAVE A MINIMUM DBH (DIAMETER AT BREAST HEIGHT) OF 3".  
TYPE OF TREE TO BE DETERMINED BY LYNNFIELD'S TREE WARDEN.  
THERE ARE TO BE THREE STREET TREES PER LOT.



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC



LYNNFIELD PLANNING BOARD

CLERKS CERTIFICATION ON THE PLAN  
DATE: \_\_\_\_\_

I, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

**OWNERS:**  
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST 333 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32543 PAGE 434 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE 339 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32841 PAGE 114 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD 349 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 6466 PAGE 334 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

6		
5		
4		
3	TOWN COMMENTS/PEER REVIEW	7/2/2019
2	TOWN COMMENTS/PEER REVIEW	6/10/2019
1	TOWN COMMENTS/PEER REVIEW	5/9/2019

**DEFINITIVE CONSTRUCTION DETAILS**  
TUTTLE LANE  
LYNNFIELD, MA

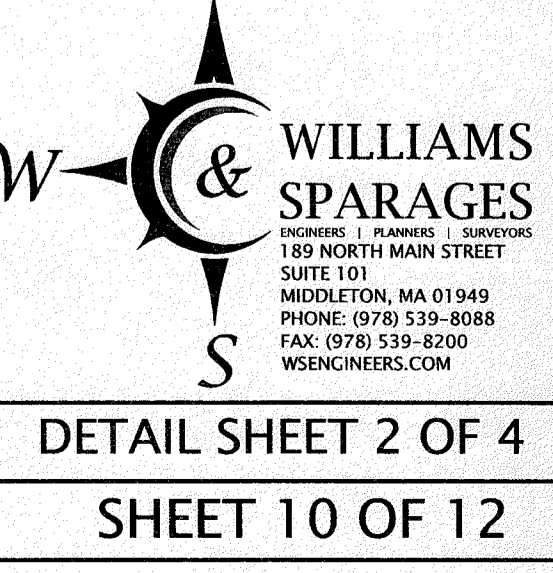
**APPLICANT/SUBDIVIDER:**  
HPI, LLC  
23 STILES ROAD - SUITE 104 SALEM, NH 03079

**OWNER:**  
SEE ABOVE

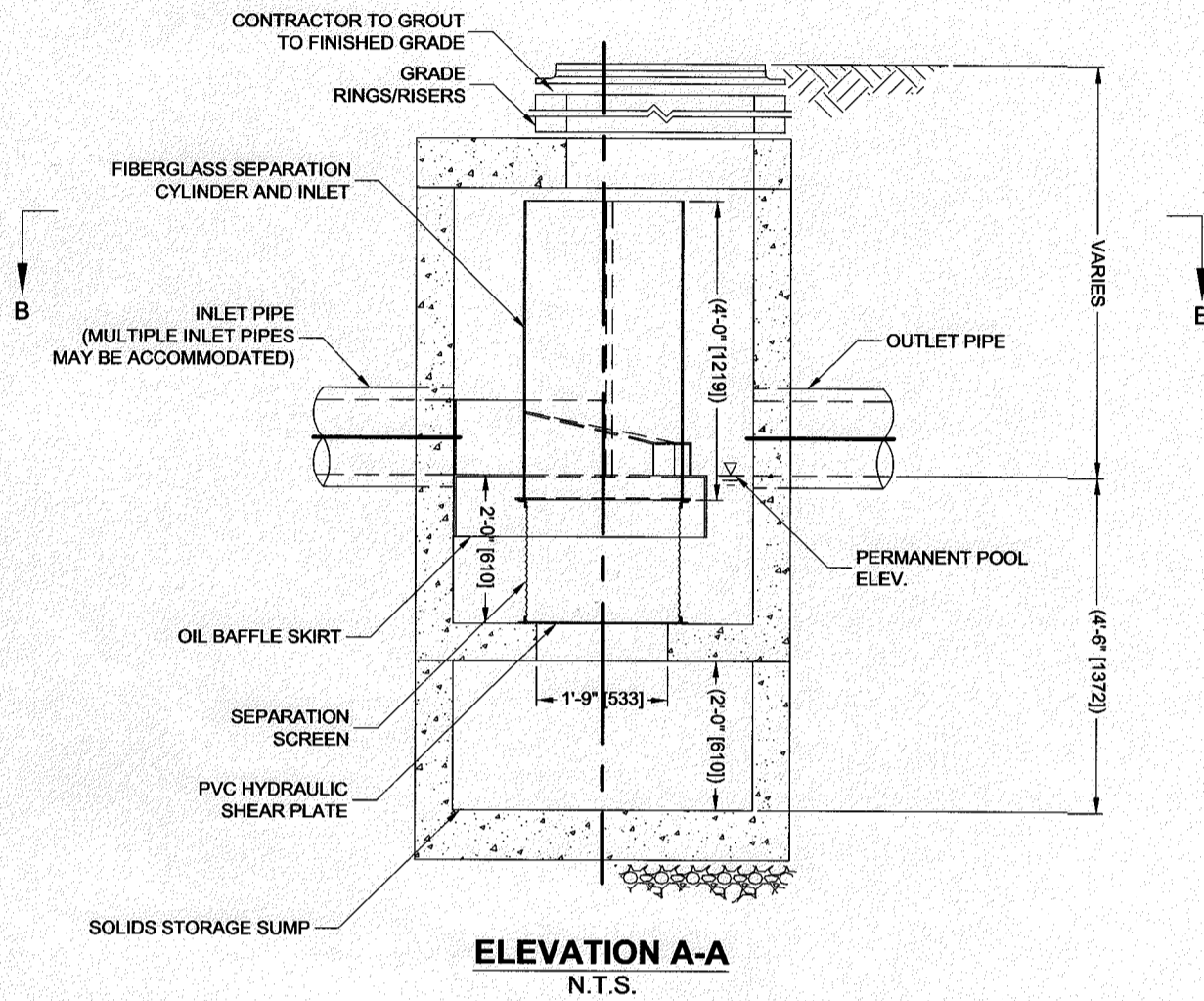
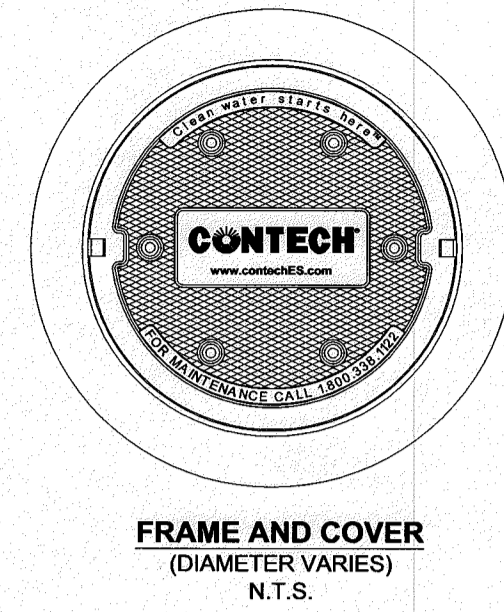
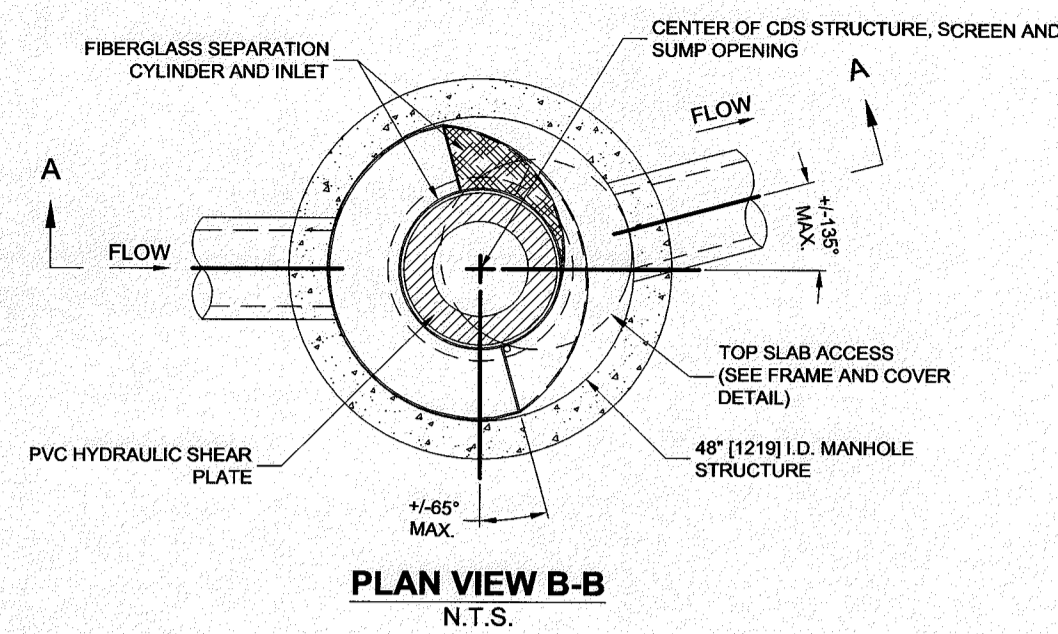
**ASSESSOR'S REFERENCE:**  
MAP 34 LOTS 2015, 2027, & 2055

ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

SCALE: AS SHOWN  
NOVEMBER 21, 2018



**DETAIL SHEET 2 OF 4**  
**SHEET 10 OF 12**



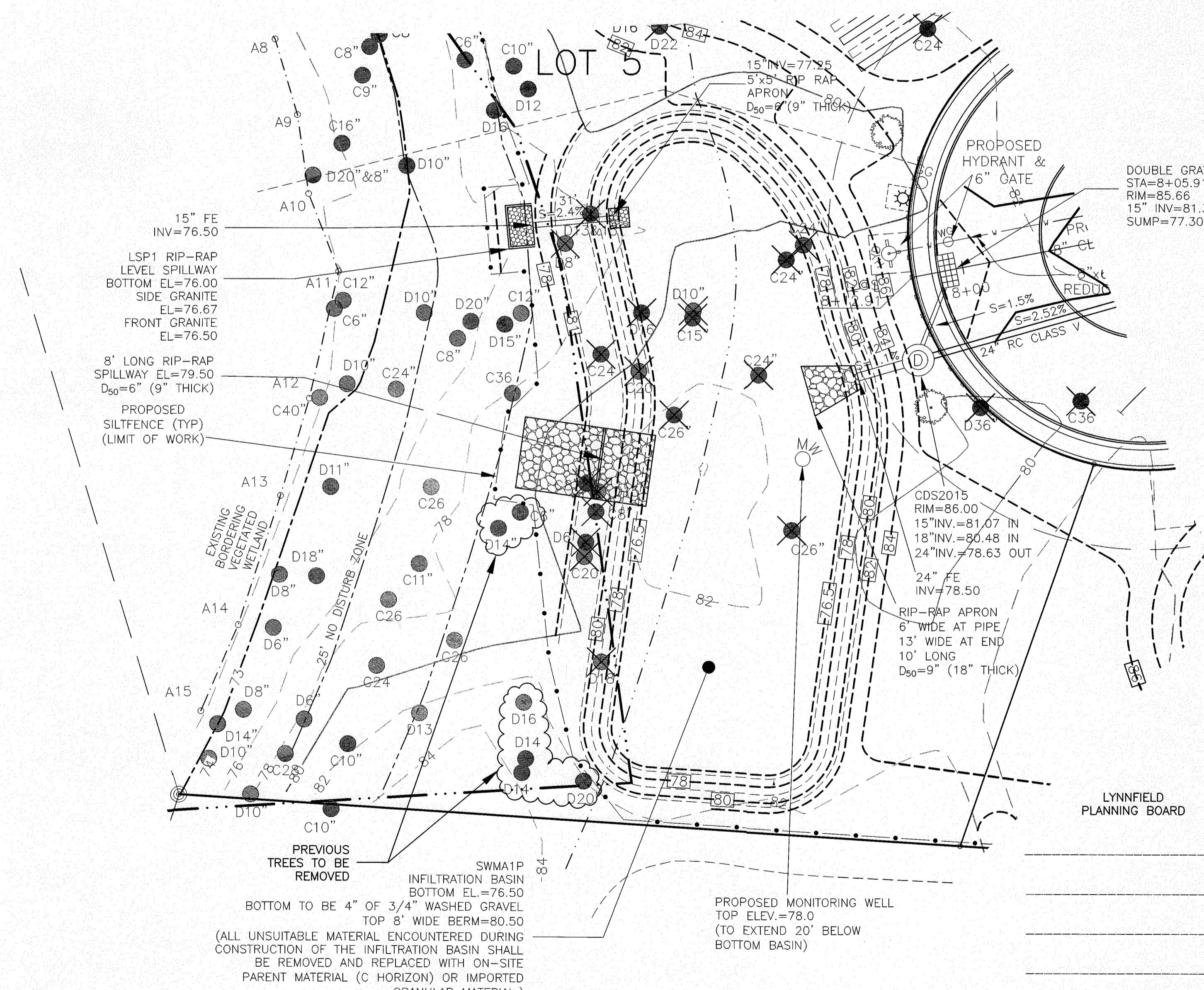
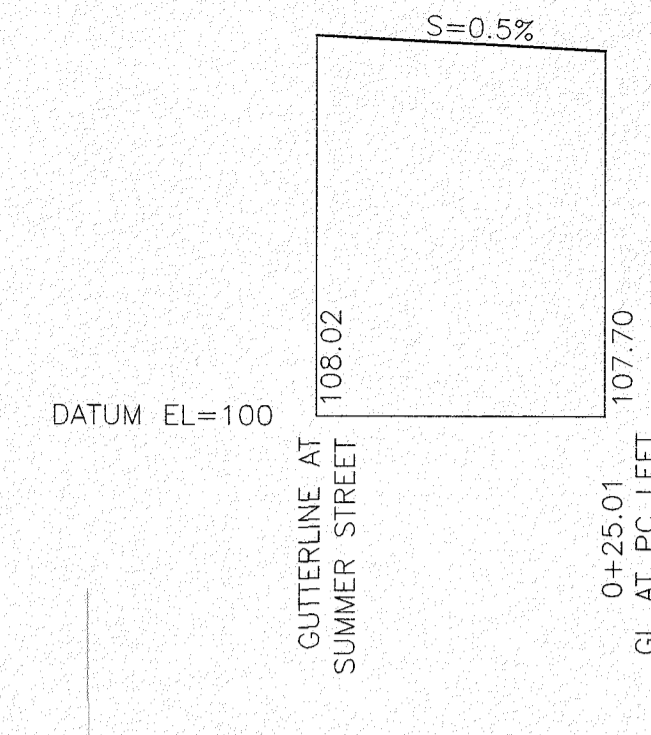
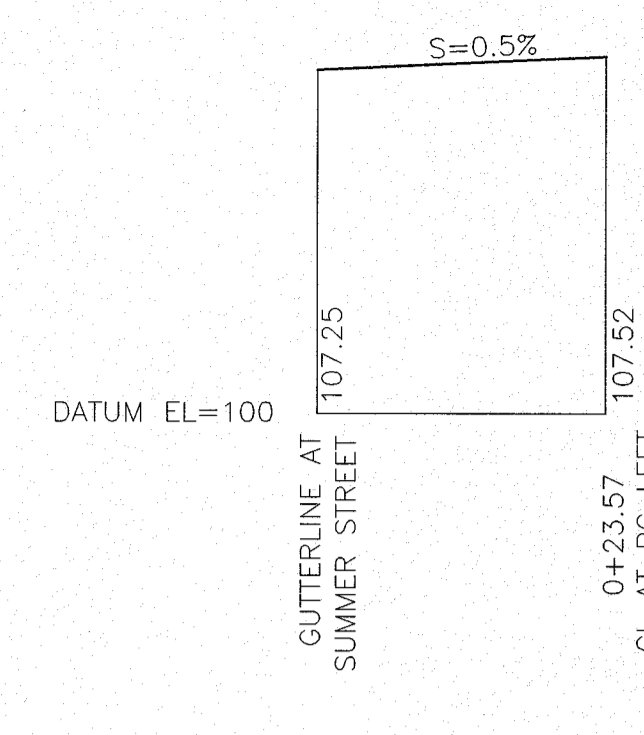
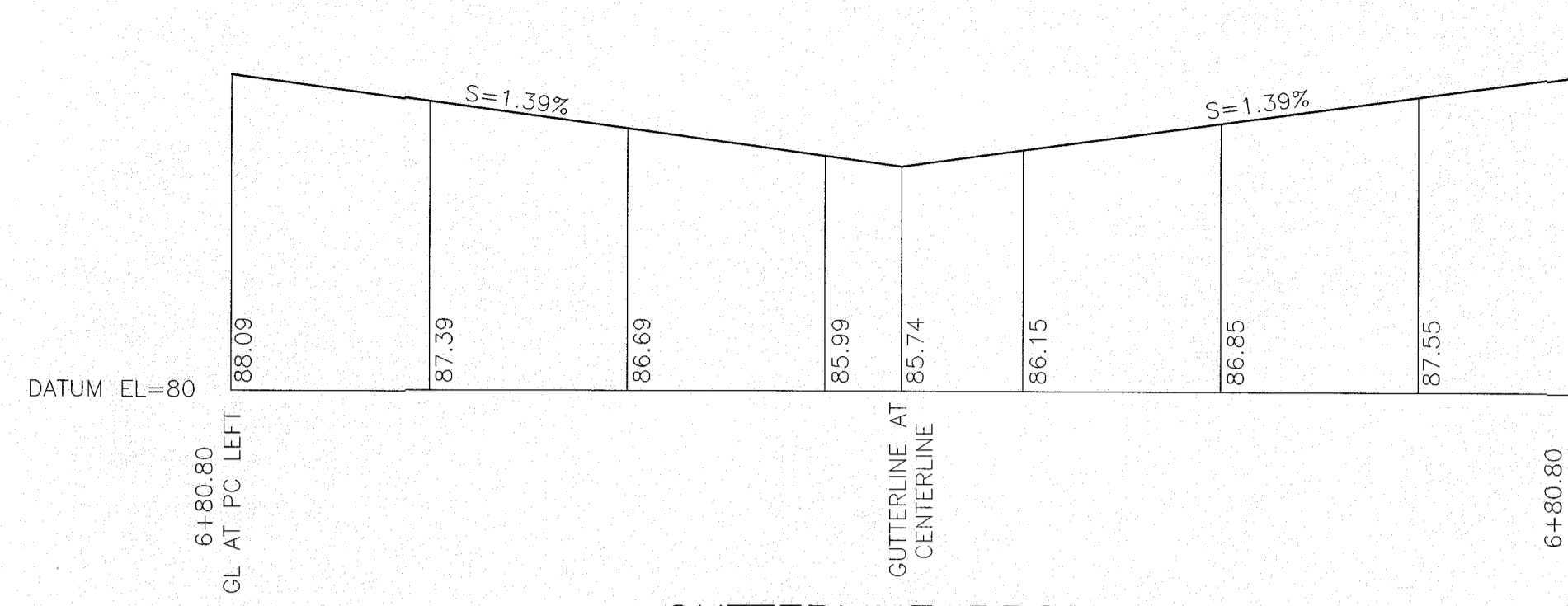
**CDS2015-4-C**  
**INLINE CDS**  
(NOT TO SCALE)

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 308) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**PROPRIETARY TREATMENT DEVICE:**

IF THE APPLICANT WISHES TO SUBSTITUTE ANOTHER STORMWATER TREATMENT UNIT FOR THE CDS UNIT SPECIFIED ON THE PLANS THEN HE MUST SUBMIT A REQUEST FOR THIS SUBSTITUTION TO THE LYNNFIELD TOWN ENGINEER IN WRITING, INCLUDING ALL NECESSARY CALCULATIONS FOR THE SIZING OF THE UNIT, NJCAT DATA FOR THE UNIT AND A STATEMENT BY A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER THAT THE UNIT IS EQUIVALENT TO THE CDS UNIT SHOWN ON THE PLANS. THE PROPOSED ALTERNATIVE MUST HAVE THE SAME (OR MORE) HYDROCARBON STORAGE, SEDIMENT STORAGE, STORMWATER TREATMENT FLOW AND TREATMENT EFFICIENCY AS THE CDS UNIT SHOWN. THE TOWN ENGINEER SHALL ACT ON THE REQUEST AND THE REQUEST MUST BE APPROVED PRIOR TO THE SHIPMENT OF THE ALTERNATIVE TREATMENT UNIT TO THE SITE.



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

**OWNERS:**  
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
333 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 32543 PAGE 434  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE  
339 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 6466 PAGE 114  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2027

JANE W. COONROD  
349 SUMMER STREET  
LYNNFIELD, MA 01940  
DEED REFERENCE:  
BOOK 6466 PAGE 334  
ASSESSOR'S REFERENCE:  
MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN  
DATE: \_\_\_\_\_

I, \_\_\_\_\_, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

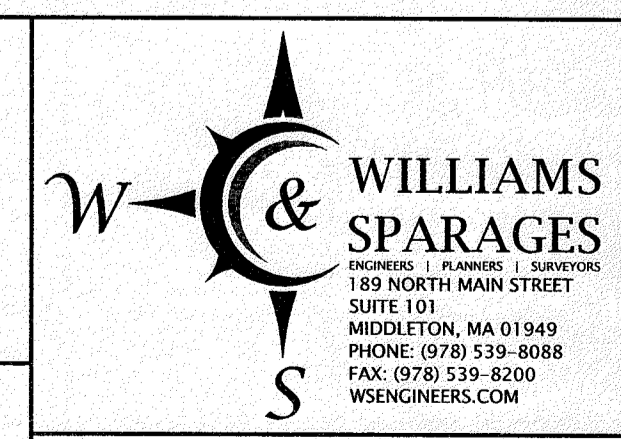
6		
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**DEFINITIVE CONSTRUCTION**  
**DETAILS**  
**TUTTLE LANE**  
**LYNNFIELD, MA**

**APPLICANT/SUBDIVIDER:**  
HPI, LLC  
23 STILES ROAD - SUITE 104  
SALEM, NH 03079

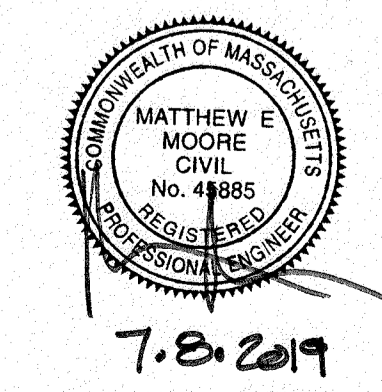
**OWNER:**  
SEE ABOVE

**ASSESSOR'S REFERENCE:**  
MAP 34 LOTS 2015, 2027, & 2055



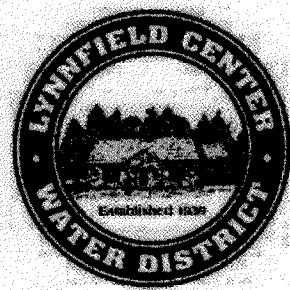
SCALE: AS SHOWN  
MARCH 26, 2019

DETAIL SHEET 3 OF 4  
SHEET 11 OF 12



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

TREE LEGEND		TREE IDENTIFICATION	
TREE CODE	TREE SPECIES	TREE CODE → C24 ←	TREE DIAMETER AT BREAST HEIGHT (DBH) (INCHES)
C	CONIFER (SOFTWOOD)	○	TREE LOCATION
D	DECIDUOUS (HARDWOOD)	⊗	TREE TO BE REMOVED



Lynnfield Center Water District  
83 Phillips Road  
Lynnfield, Massachusetts 01940

### Installation of New Mains

All mains, fire hydrants, valves, and fittings are to be American made

No work is to be commenced until all appropriate permits are obtained, required bond is set, and all fees are paid

**New water main:**

All new water main is to be American made Class 52 pipe or better

All new water main is to be zinc coated cement lined ductile iron pipe

Installation of new water main is to be bedded in sand or suitable material

All new water main must be inspected by the Lynnfield Center Water District during installation

There must be a minimum of 5 feet of cover to prevent freezing

Upon completion, new mains must be chlorinated and pressure tested to AWWA standards and a bacteria test completed by a state certified lab

**Valves:**

All new valves must be AWWA approved and American made

All new valves must be open left resilient wedge gate valves

New valves must have the appropriate gate box set to grade

**Hydrants:**

All new hydrants must be Kennedy K81D factory painted with appropriate color scheme (Des Moines Green Upper Barrel with White Caps and Bonnet) - open left

All new hydrants must have a minimum of a 5.5 foot bury and be set to the appropriate grade with hydrant extension(s)

All new hydrants must be installed using the appropriate thrust block and the base of the hydrant is to be backfilled with crushed stone or other suitable material to allow for proper drainage

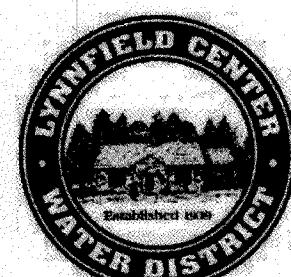
**Mechanical joints:**

All mechanical joints must be restrained using a mechanical joint restraint kit (eg. Mega lug or equivalent)

**New taps:**

All taps must be installed by a District approved contractor

All taps are to be installed using a stainless steel tapping sleeve and gate



Lynnfield Center Water District  
83 Phillips Road  
Lynnfield, Massachusetts 01940

### New Service Installation Information

All new service taps must be done with a minimum of 1" double banded stainless saddle tap with an open-left corporation valve. Service lines from the water mains to the curb stop will be 1" Type K Copper

All new services installed are to use 200 p.s.i. blue P.V.C. plastic pipe and have a minimum size of 1"

All new services are required to have RedHed or American-made equivalent lead free open-left curb stop without a drain with an Eries Box with Stainless Steel Rod (curb stop box with rod) connected and set to grade. All compression connections made to the curb stop are required to have a stainless steel insert.

All services are to be **ONE CONTINUOUS PIECE** and have no fittings between the curb stop and kornerhorn (meter bar)

All new services are required to have a minimum of 5 feet of cover to prevent freezing and must be sleeved if within 10 feet of any septic system

All installations are to be inspected by the District prior to being back filled

All services must be backfilled with sand or other suitable material

All services must be sleeved when installed under the footing and when installed through a foundation wall and cannot be within 3 feet of electrical panels

All service lines must extend a **MINIMUM OF 6 FEET** beyond all walls and floors. Prior to a kornerhorn (meter bar) being installed the service line must be restrained or staked off of the wall in a vertical manner as not to kink or impede the flow of water. **DO NOT CUT SERVICE LINE!** Once the line has been secured the District will work with the plumber to make appropriate connections.

All new services will have meters installed within a kornerhorn assembly and will have a dual cartridge check valve included in the assembly installed by the District. This requires a **POTABLE WATER EXPANSION TANK** to be installed after the meter to protect household plumbing from thermal expansion. All cross connections must be inspected and eliminated before the water will be turned on.

Connections to household plumbing after the kornerhorn assembly are to be made with a minimum 1" copper. Connections on both sides of the kornerhorn are compression and require no soldering or gluing.

No electrical connections or grounding can be made to service lines

All meters and kornerhorn assemblies must remain accessible for service and change outs

Kornerhorns and meters will not be installed until all fees and applicable service charges have been paid

### NOTES:

- EXISTING SERVICE CONNECTIONS TO HOMES 333, 339 AND 343 SUMMER STREET TO BE TERMINATED AND TURNED OFF AT THE EXISTING CORPORATION STOP.
- THE HYDRANT EXISTING ON SUMMER STREET THAT IS SLATED TO BE RELOCATED WILL REQUIRE AN EASEMENT IF MOVED OUTSIDE OF THE PUBLIC ROADWAY.
- A MINIMUM OF 36 INCHES OF CLEARANCE FOR ALL WATER PIPES IS TO BE MAINTAINED TO OTHER UTILITIES.
- SERVICES BOXES ARE TO BE "ERIE" STYLE WITH WELDED STAINLESS STEEL ROD AND PLUG STYLE COVER.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

**OWNERS:**  
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST  
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CLERKS CERTIFICATION ON THE PLAN

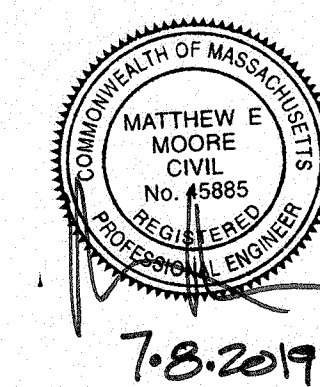
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\_\_\_\_\_  
TOWN CLERK

LYNNFIELD  
PLANNING BOARD

DATE: \_\_\_\_\_



ACTION	DATE:
APPLICATION FILED	
FINAL PLAN FILED	
HEARING DATE	
PLAN APPROVED	
PLAN SIGNED	

6		
5		
4		
3		
2		
1		

## DEFINITIVE CONSTRUCTION DETAILS TUTTLE LANE LYNNFIELD, MA

**APPLICANT/SUBDIVIDER:**  
HPI, LLC  
23 STILES ROAD - SUITE 104  
SALEM, NH 03079

**OWNER:**  
SEE ABOVE

**ASSESSOR'S REFERENCE:**  
MAP 34 LOTS 2015, 2027, & 2055

SCALE: NONE  
JULY 2, 2019



DETAIL SHEET 4 OF 4  
SHEET 12 OF 12