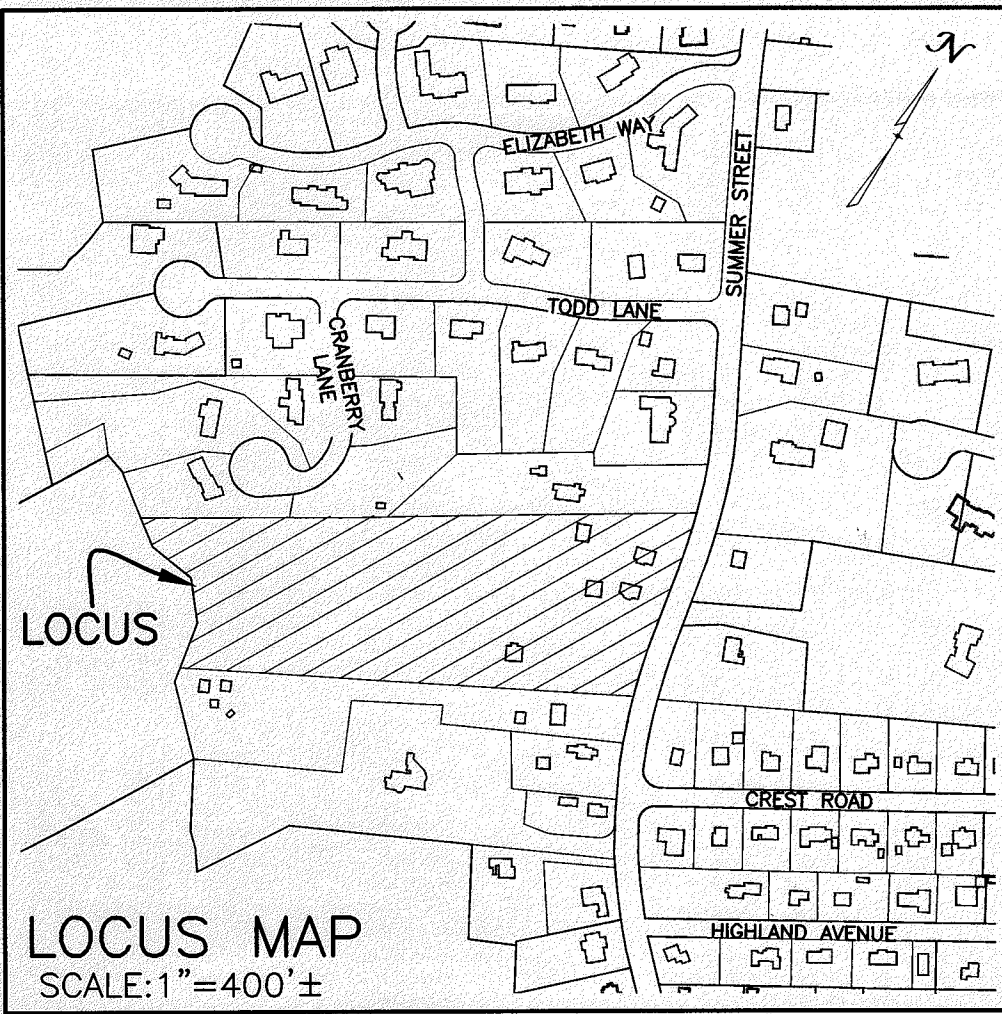
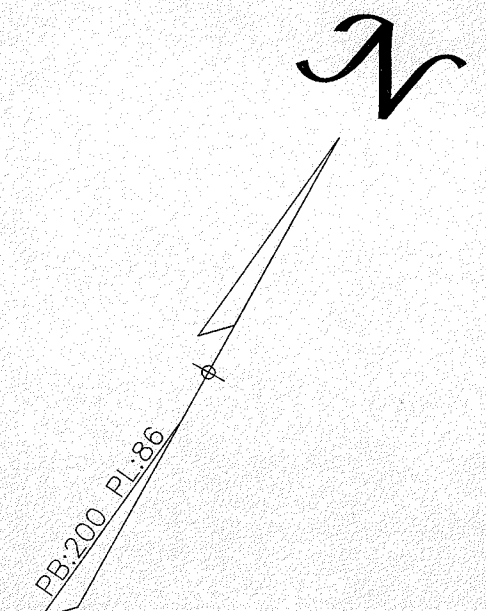


DEFINITIVE SUBDIVISION PLAN COVER SHEET TUTTLE LANE

IN
LYNNFIELD, MASSACHUSETTS
ASSESSORS MAP 34 LOTS 2015, 2027 AND 2055



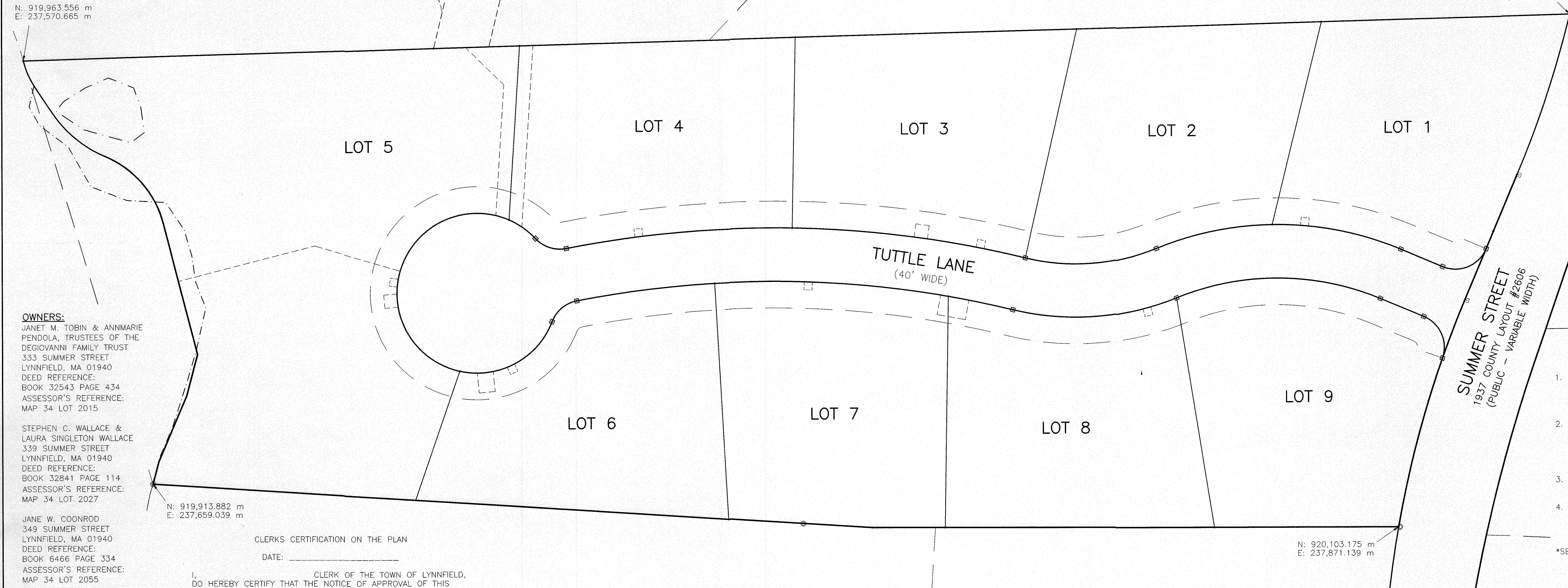
N: 919,963.556 m
E: 237,570.665 m



COORDINATE SYSTEM:
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

ZONING DISTRICT: RB
MINIMUM LOT AREA = 30,000 S.F.
MINIMUM LOT FRONTAGE = 150 FEET
FRONT YARD SETBACK = 40 FEET
(OR 60 FROM STREET CENTER LINE)
SIDE YARD SETBACK = 20 FEET
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



OWNERS:
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027

JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN
DATE: _____
I, _____ CLERK OF THE TOWN OF LYNNFIELD,
DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS
PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND
RECORDING OF SAID NOTICE.

I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

LYNNFIELD
PLANNING BOARD

DATE: _____

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

- GENERAL NOTES:**
1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018 AND CONFIRMED BY THE LYNNFIELD CONSERVATION COMMISSION IN AN ORAD ISSUED ON MAY 15, 2018 (SEE DEP FILE NUMBER 209-0622).
 2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
 3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
 4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
 5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
 6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
 7. EXISTING STRUCTURES ON LOCUS PROPERTY ARE TO BE RAZED.
 8. THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.
 9. INSTALLATION OF GAS, ELECTRIC, TELEPHONE/COMMUNICATIONS AND OTHER UTILITY MAINS AND SERVICES TO BE COORDINATED WITH THEIR APPROPRIATE PROVIDERS AND APPROVED BY THE TOWN OF LYNNFIELD RESPECTIVE DEPARTMENTS.
 10. SEE ALSO HOMEOWNERS ASSOCIATION (HOA) DOCUMENT INCORPORATED AS PART OF THE PLANNING BOARD DECISION.

LIST OF REQUESTED SUBDIVISION WAIVERS - CHAPTER 375

1. SECTION 8.5.B. (1)(a) REPLACE COLONIAL POLE-TOP LIGHTING FIXTURE WITH AMERICANA ELECTRIC LIGHTING PART #247L-20LEDE70-MVOLT-4K-R5-AY-PCLL OR APPROVED EQUAL.
2. SECTION 7.1.D.(1) WHICH REQUIRES DEAD END STREETS TO BE NO LONGER THAN 500' UNLESS, IN THE OPINION OF THE PLANNING BOARD, A GREATER LENGTH IS NECESSITATED BY TOPOGRAPHY OR OTHER LOCAL CONDITIONS, AND, IN PLACE THEREOF, ALLOW A LENGTH OF 812.91 FEET AS SHOWN.
3. SECTION 7.1.D.(2) REQUEST A WAIVER TO ALLOW CONSTRUCTION OF AN ISLAND WITHIN THE TURNAROUND OF THE CUL-DE-SAC.
4. SECTION 7.1.D.(4) REQUEST A WAIVER NOT TO REQUIRE CONTINUING STREETS WITHIN THE SUBDIVISION TO THE EXTERIOR BOUNDARY.

*SEE INDIVIDUAL SHEETS FOR REQUESTED SHEET WAIVERS.

| NO. | TOWN COMMENTS | DATE |
|-----|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

**DEFINITIVE COVER SHEET
TUTTLE LANE
LYNNFIELD, MA**

APPLICANT/SUBDIVIDER:
HPI MASS RE DEVELOPMENT, LLC
23 STILES ROAD -- SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

0' 20' 40' 80'

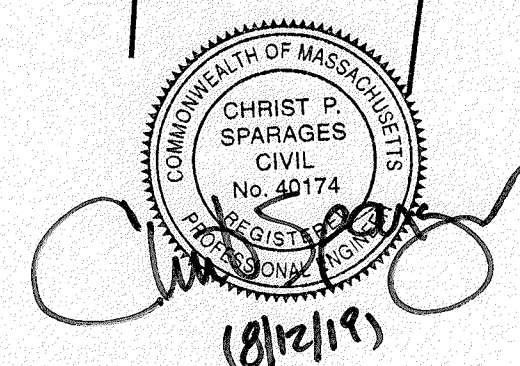
SCALE: 1"=40'

NOVEMBER 21, 2018



COVER SHEET 1 OF 1
SHEET 1 OF 12

- PLAN SET INDEX**
- SHEET 1: COVER SHEET
 - SHEET 2: DEFINITIVE LOTTING PLAN
 - SHEET 3: EXISTING CONDITIONS AND DEMOLITION PLAN
 - SHEET 4: DEFINITIVE PLAN & PROFILE
 - SHEET 5: TOPOGRAPHIC PLAN (SHEET 1 OF 2)
 - SHEET 6: TOPOGRAPHIC PLAN (SHEET 2 OF 2)
 - SHEET 7: STREET LIGHTING PLAN
 - SHEET 8: EROSION AND SEDIMENT CONTROL PLAN
 - SHEET 9-12: CONSTRUCTION DETAILS



LEGEND OF ABBREVIATIONS

- BM - BENCH MARK
- DH - DRILL HOLE
- IP - IRON PIPE
- CBE - CENTER BACK EDGE
- ECSB - ESSEX COUNTY STONE BOUND (FND) - FOUND

LEGEND OF SYBOLS

- BENCH MARK
- IRON PIPE
- STONE BOUND

COORDINATE SYSTEM:

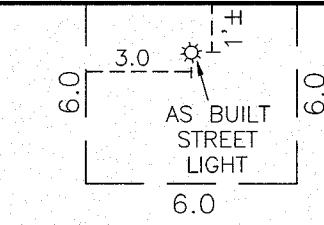
COORDINATES SHOWN ON THIS PLAN ARE ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (1983 DATUM IN METERS).

ZONING TABLE

| LOT # | LOT AREA (S.F.) | UPLAND AREA (S.F.) | FRONTAGE (FT.) | DISTRICT |
|-------|-----------------|--------------------|----------------|----------|
| 1 | 30,195 | 30,195 | 150.00* | RB |
| 2 | 30,127 | 30,127 | 186.40 | RB |
| 3 | 30,033 | 30,033 | 175.97 | RB |
| 4 | 30,464 | 30,464 | 211.84 | RB |
| 5 | 77,800± | 70,300± | 150.00** | RB |
| 6 | 30,123 | 30,123 | 201.94 | RB |
| 7 | 30,234 | 30,234 | 175.02 | RB |
| 8 | 30,550 | 30,550 | 170.78 | RB |
| 9 | 30,508 | 30,508 | 200.07* | RB |

* : MEASURED ALONG A STRAIGHT LINE FROM LOT CORNER TO MID POINT OF ROUNDING.
 ** : USED 75% OF THE DISTANCE ALONG A CURVE.

ROADWAY SIDELINE



STREET LIGHT EASEMENT DETAIL

NOT TO SCALE

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

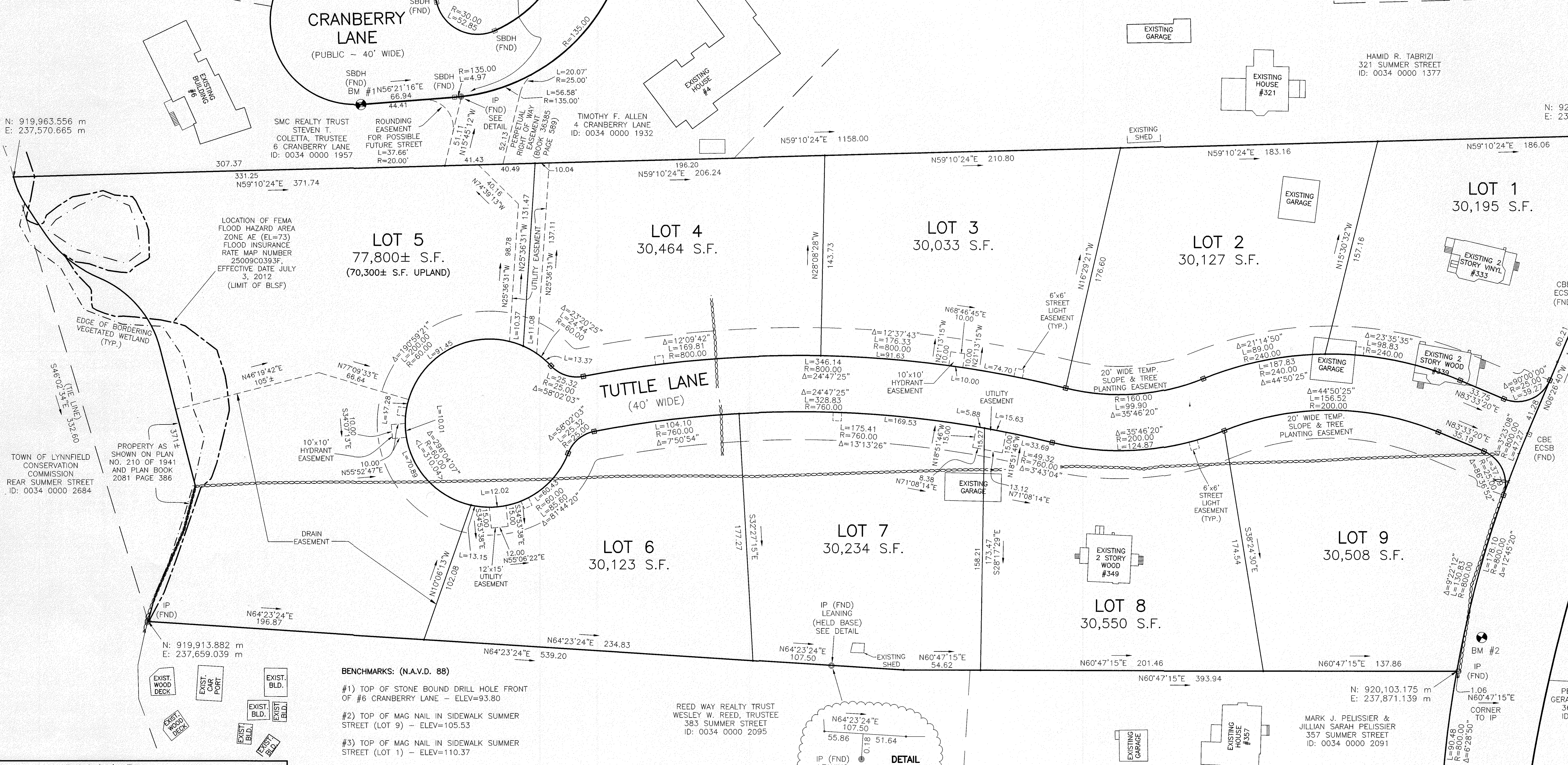
REQUESTED SHEET WAIVER:

- SECTION 6.4. A. (3) WAIVE THE REQUIREMENT TO SHOW THE LENGTH OF TANGENT OF ROADWAY CURVE ON THE PLAN.
- SECTION 6.4.A. (6) WAIVE THE REQUIREMENT TO SHOW BENCH MARKS ON STONE BOUNDS (3 BENCH MARKS ARE SHOWN)

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
 MINIMUM LOT FRONTAGE = 150 FEET
 FRONT YARD SETBACK = 40 FEET
 (OR .60 FROM STREET CENTER LINE)
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



N: 919,963.556 m
 E: 237,570.665 m

N: 920,215.061 m
 E: 237,818.303 m

LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 25009C0383F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

TOWN OF LYNNFIELD CONSERVATION COMMISSION REAR SUMMER STREET ID: 0034 0000 2684

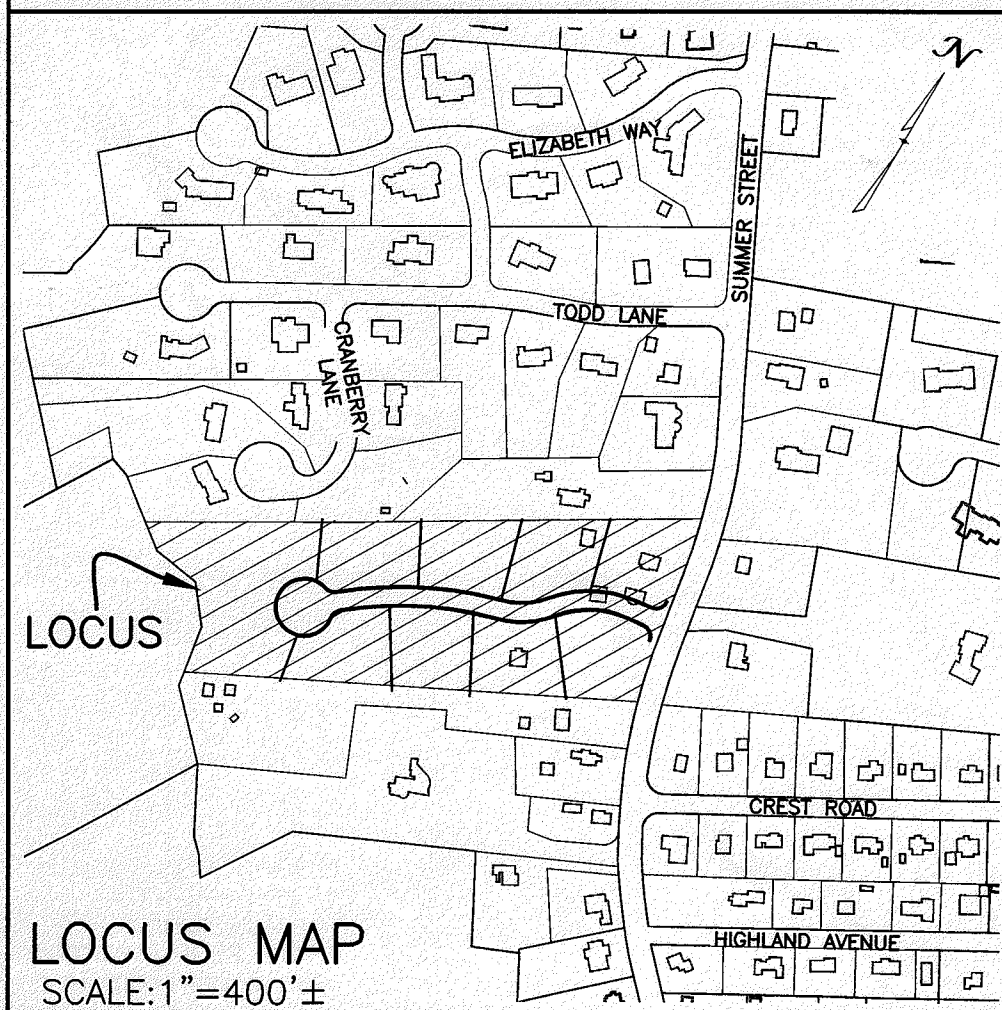
DRAIN EASEMENT

BENCHMARKS: (N.A.V.D. 88)

- #1 TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
- #2 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

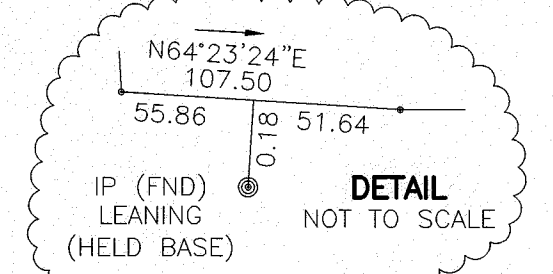
NOTES:

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2. WETLAND RESOURCE FLAGS AND FEMA FLOOD HAZARD AREA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
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7. EXISTING LOCUS STRUCTURES ARE TO BE RAZED.



LYNNFIELD PLANNING BOARD

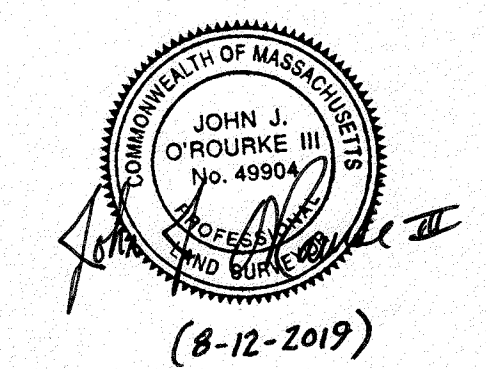
REED WAY REALTY TRUST WESLEY W. REED, TRUSTEE 363 SUMMER STREET ID: 0034 0000 2095



CLERK'S CERTIFICATION ON THE PLAN DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |



1937 COUNTY LAYOUT #2806 (PUBLIC - VARIABLE WIDTH)

OWNER'S:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST 333 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32543 PAGE 434 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE 339 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32841 PAGE 114 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD 349 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 6466 PAGE 334 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

PAUL D. & SUSAN S. BEAULIEU 350 SUMMER STREET ID: 0034 0000 0799

PETER P. KARONIS & GERALDINE L. BROTHERTON 360 SUMMER STREET ID: 0034 0000 1488

STEPHEN J. FANTONE 324 SUMMER STREET ID: 0034 0000 1416

ELIZABETH A. FANTONE 340 SUMMER STREET ID: 0034 0000 0797

HAMID R. TABRIZI 321 SUMMER STREET ID: 0034 0000 1377

VITO & DANIELLE CARDONE 306 SUMMER STREET ID: 0034 0000 0725

MARK J. PELISSIER & JILLIAN SARAH PELISSIER 357 SUMMER STREET ID: 0034 0000 2091

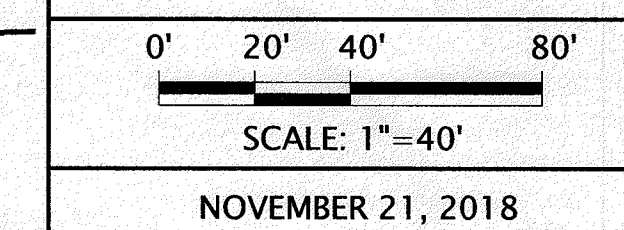
| NO. | TOWN COMMENTS | DATE |
|-----|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE LOTTING PLAN
 TUTTLE LANE
 LYNNFIELD, MA

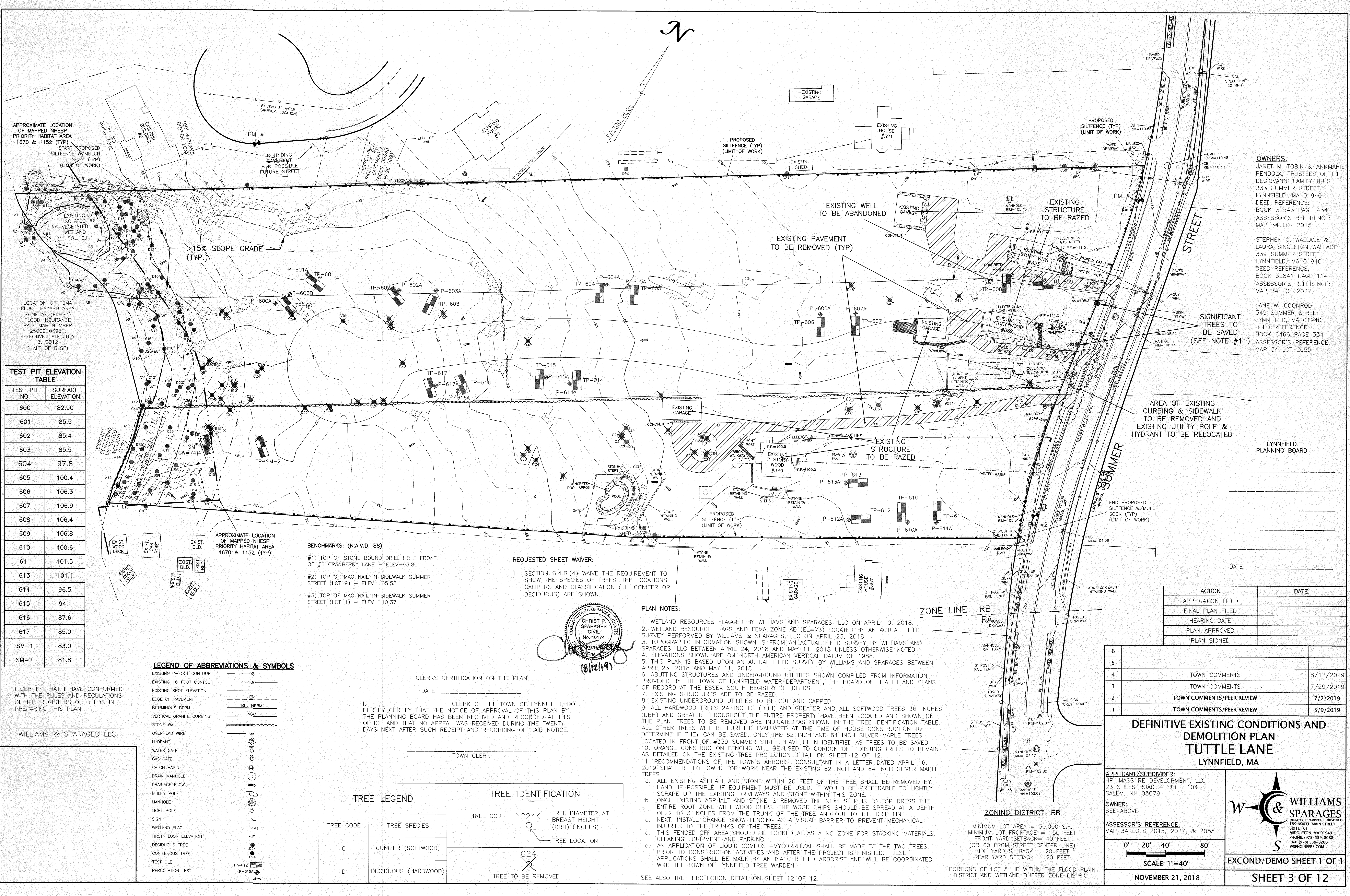
APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055



DEFINITIVE SHEET 1 OF 1
SHEET 2 OF 12



APPROXIMATE LOCATION OF MAPPED NHESP PRIORITY HABITAT AREA 1670 & 1152 (TYP)

START PROPOSED SILTFENCE W/MULCH SOCK (TYP) (LIMIT OF WORK)

EXISTING VEGETATED WETLAND (2,050± S.F.)

LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 250900393Z EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

| TEST PIT NO. | SURFACE ELEVATION |
|--------------|-------------------|
| 600 | 82.90 |
| 601 | 85.5 |
| 602 | 85.4 |
| 603 | 85.5 |
| 604 | 97.8 |
| 605 | 100.4 |
| 606 | 106.3 |
| 607 | 106.9 |
| 608 | 106.4 |
| 609 | 106.8 |
| 610 | 100.6 |
| 611 | 101.5 |
| 613 | 101.1 |
| 614 | 96.5 |
| 615 | 94.1 |
| 616 | 87.6 |
| 617 | 85.0 |
| SM-1 | 83.0 |
| SM-2 | 81.8 |

LEGEND OF ABBREVIATIONS & SYMBOLS

| | |
|--------------------------|-----------|
| EXISTING 2-FOOT CONTOUR | 96 |
| EXISTING 10-FOOT CONTOUR | 100 |
| EXISTING SPOT ELEVATION | EP |
| EDGE OF PAVEMENT | BIT. BERM |
| BITUMINOUS BERM | BIT. BERM |
| VERTICAL GRANITE CURBING | VGC |
| STONE WALL | |
| OVERHEAD WIRE | |
| HYDRANT | |
| WATER GATE | |
| GAS GATE | |
| CATCH BASIN | |
| DRAIN MANHOLE | |
| DRAINAGE FLOW | |
| UTILITY POLE | |
| MANHOLE | |
| LIGHT POLE | |
| SIGN | |
| WETLAND FLAG | A1 |
| FIRST FLOOR ELEVATION | F.F. |
| DECIDUOUS TREE | |
| CONIFEROUS TREE | |
| TESTHOLE | |
| PERCOLATION TEST | |

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

BENCHMARKS: (N.A.V.D. 88)

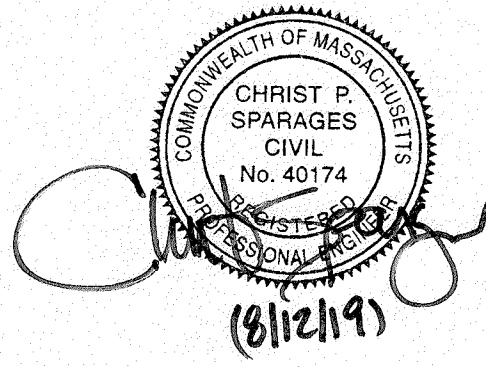
#1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80

#2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53

#3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

REQUESTED SHEET WAIVER:

1. SECTION 6.4.B.(4) WAIVE THE REQUIREMENT TO SHOW THE SPECIES OF TREES. THE LOCATIONS, CALIPERS AND CLASSIFICATION (I.E. CONIFER OR DECIDUOUS) ARE SHOWN.



CLERK'S CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

| TREE LEGEND | | TREE IDENTIFICATION | |
|-------------|----------------------|---------------------|---|
| TREE CODE | TREE SPECIES | TREE CODE | TREE IDENTIFICATION |
| C | CONIFER (SOFTWOOD) | C24 | TREE DIAMETER AT BREAST HEIGHT (DBH) (INCHES) |
| D | DECIDUOUS (HARDWOOD) | C24 | TREE LOCATION |
| | | X | TREE TO BE REMOVED |

PLAN NOTES:

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
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6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
7. EXISTING STRUCTURES ARE TO BE RAZED.
8. EXISTING UNDERGROUND UTILITIES TO BE CUT AND CAPPED.
9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.
10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORDON OFF EXISTING TREES TO REMAIN AS DETAILED ON THE EXISTING TREE PROTECTION DETAIL ON SHEET 12 OF 12.
11. RECOMMENDATIONS OF THE TOWN'S ARBORIST CONSULTANT IN A LETTER DATED APRIL 16, 2019 SHALL BE FOLLOWED FOR WORK NEAR THE EXISTING 62 INCH AND 64 INCH SILVER MAPLE TREES.

- a. ALL EXISTING ASPHALT AND STONE WITHIN 20 FEET OF THE TREE SHALL BE REMOVED BY HAND, IF POSSIBLE. IF EQUIPMENT MUST BE USED, IT WOULD BE PREFERABLE TO LIGHTLY SCRAPE UP THE EXISTING DRIVEWAYS AND STONE WITHIN THIS ZONE.
- b. ONCE EXISTING ASPHALT AND STONE IS REMOVED THE NEXT STEP IS TO TOP DRESS THE ENTIRE ROOT ZONE WITH WOOD CHIPS. THE WOOD CHIPS SHOULD BE SPREAD AT A DEPTH OF 2 TO 3 INCHES FROM THE TRUNK OF THE TREE AND OUT TO THE DRIP LINE.
- c. NEXT, INSTALL ORANGE SNOW FENCING AS A VISUAL BARRIER TO PREVENT MECHANICAL INJURIES TO THE TRUNKS OF THE TREES.
- d. THIS FENCED OFF AREA SHOULD BE LOOKED AT AS A NO ZONE FOR STACKING MATERIALS, CLEANING EQUIPMENT AND PARKING.
- e. AN APPLICATION OF LIQUID COMPOST-MYCORRHIZAL SHALL BE MADE TO THE TWO TREES PRIOR TO CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT IS FINISHED. THESE APPLICATIONS SHALL BE MADE BY AN ISA CERTIFIED ARBORIST AND WILL BE COORDINATED WITH THE TOWN OF LYNNFIELD TREE WARDEN.

SEE ALSO TREE PROTECTION DETAIL ON SHEET 12 OF 12.

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

| | | |
|---|---------------------------|-----------|
| 6 | | |
| 5 | | |
| 4 | TOWN COMMENTS | 8/12/2019 |
| 3 | TOWN COMMENTS | 7/29/2019 |
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| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE EXISTING CONDITIONS AND DEMOLITION PLAN
TUTTLE LANE
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI MASS RE DEVELOPMENT, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

SCALE: 1"=40'

NOVEMBER 21, 2018

WILLIAMS & SPARAGES
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8208
WSENGINEERS.COM

EXCOND/DEMO SHEET 1 OF 1
SHEET 3 OF 12

OWNERS:
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027

JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055

SIGNIFICANT TREES TO BE SAVED (SEE NOTE #11)

AREA OF EXISTING CURBING & SIDEWALK TO BE REMOVED AND EXISTING UTILITY POLE & HYDRANT TO BE RELOCATED

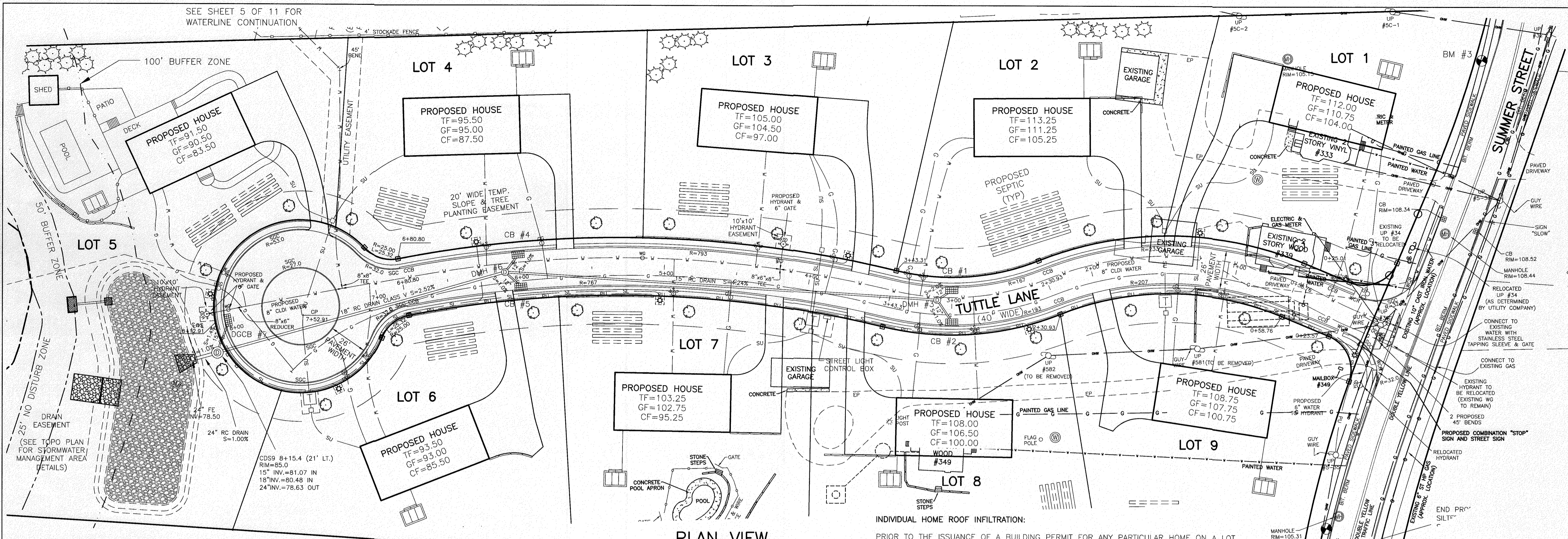
LYNNFIELD PLANNING BOARD

DATE: _____

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
MINIMUM LOT FRONTAGE = 150 FEET
FRONT YARD SETBACK = 40 FEET
(OR 60 FROM STREET CENTER LINE)
SIDE YARD SETBACK = 20 FEET
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

REQUESTED SHEET WAIVERS:

- SECTION 6.4.C.(1)(g) WAIVE THE REQUIREMENT TO SHOW THE LEFT AND RIGHT GUTTER LINE PROFILES ON THIS SHEET AS THEY ARE SHOWN ON DETAIL SHEET 3 OF 3.
- SECTION 6.4.C.(2)(f) WAIVE THE REQUIREMENT TO SHOW ON THE PLAN VIEW THE PROPOSED RIM ELEVATIONS, SUMP ELEVATIONS AND PIPE INVERTS AS THEY ARE SHOWN ON THE PROFILE VIEW.

PLAN NOTES:

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD, MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- ALL SUBSTITUTIONS OF APPROVED EQUALS MUST BE APPROVED BY THE TOWN ENGINEER.
- REFER TO GENERAL NOTES LISTED ON COVER SHEET.
- SEE DETAIL SHEET 3 OF 3 FOR GUTTER LINE PROFILES AT THE ROUNDINGS ON SUMMER STREET AND GUTTER LINE PROFILE FOR THE CUL-DE-SAC.

BENCHMARKS: (N.A.V.D. 88)

- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80 (SEE TOPO SHEET FOR LOCATION)
- #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
- #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

DRINKING WATER DISTRIBUTION PIPING INSTALLATION NOTES:

- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LYNNFIELD CENTER WATER DISTRICT UNLESS OTHERWISE SPECIFIED.
- AS BUILT PLANS SHALL BE SUBMITTED TO THE LYNNFIELD CENTER WATER DISTRICT IN ELECTRONIC FORMAT, AS WELL AS ONE SET OF REPRODUCIBLE PLANS. THESE WILL INCLUDE TIES TO VALVES, CURB BOXES, AND SERVICE CORPORATIONS.
- SHUTDOWN AND TIE IN PROCEDURES SHALL BE COORDINATED WITH THE LYNNFIELD CENTER WATER DISTRICT.
- CHLORINATING AND HYDROSTATIC TESTING SHALL BE WITNESSED BY A REPRESENTATIVE OF THE LYNNFIELD CENTER WATER DISTRICT.
- SERVICE CONNECTIONS SHALL BE COMPLETED AFTER THE NEW WATER MAIN HAS BEEN PRESSURE TESTED, CHLORINATED, AND APPROVED.
- MAINTAIN A MINIMUM CLEARANCE BETWEEN THE NEW WATER MAIN AND OTHER UTILITIES OF AT LEAST 18 INCHES.
- ALL HYDRANTS SHALL INCLUDE SNOW FLAGS TO PROVIDE VISIBILITY DURING SNOW SITUATIONS.
- ALL VALVE BOXES SHALL BE PROVIDED WITH MUD PLUGS.

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
 MINIMUM LOT FRONTAGE = 150 FEET
 FRONT YARD SETBACK = 40 FEET
 (OR 60 FROM STREET CENTER LINE)
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

OWNERS:

JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST 333 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32543 PAGE 434 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE 339 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 32841 PAGE 114 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD 349 SUMMER STREET LYNNFIELD, MA 01940 DEED REFERENCE: BOOK 6466 PAGE 334 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

PROPRIETARY TREATMENT DEVICE:

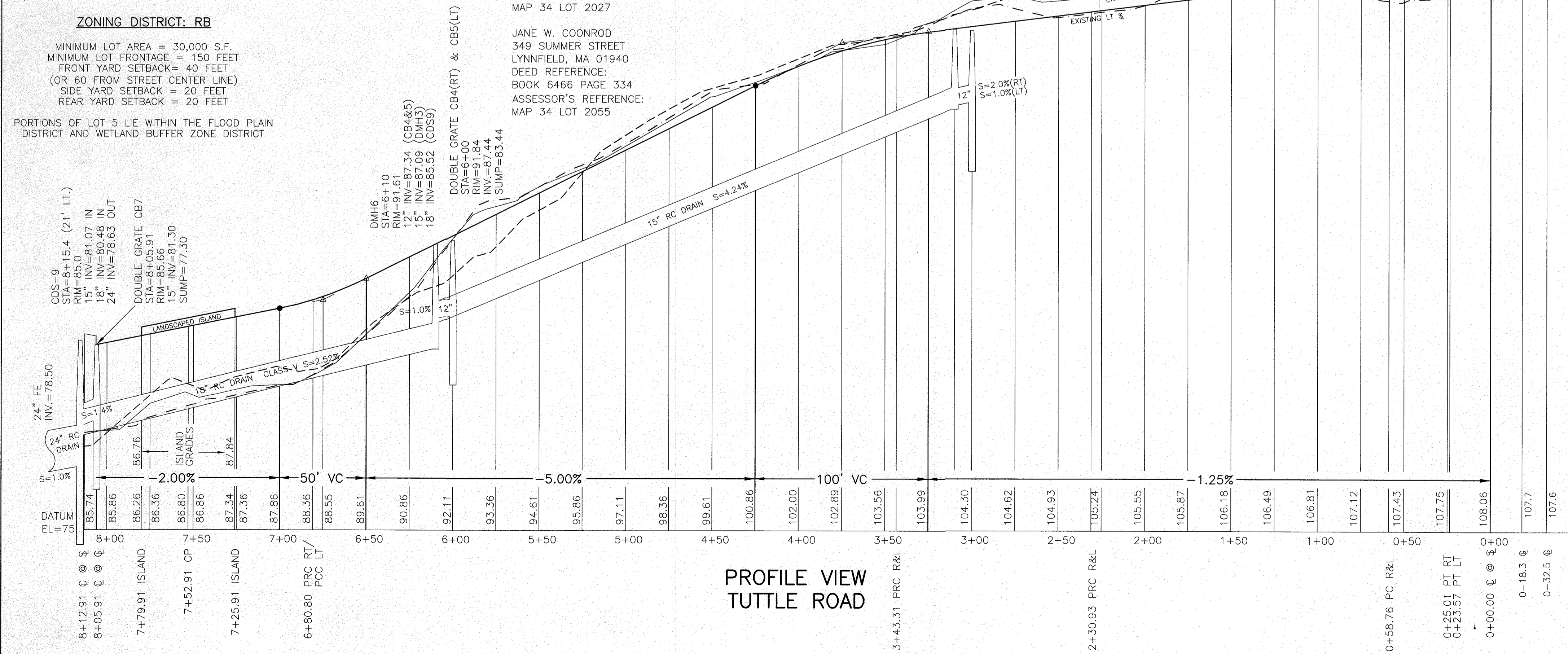
IF THE APPLICANT WISHES TO SUBSTITUTE ANOTHER STORMWATER TREATMENT UNIT FOR THE CDS UNIT SPECIFIED ON THE PLANS THEN HE MUST SUBMIT A REQUEST FOR THIS SUBSTITUTION TO THE LYNNFIELD TOWN ENGINEER IN WRITING, INCLUDING ALL NECESSARY CALCULATIONS FOR THE SIZING OF THE UNIT, NJCAT DATA FOR THE UNIT AND A STATEMENT BY A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER THAT THE UNIT IS EQUIVALENT TO THE CDS UNIT SHOWN ON THE PLANS. THE PROPOSED ALTERNATIVE MUST HAVE THE SAME (OR MORE) HYDROCARBON STORAGE, SEDIMENT STORAGE, STORMWATER TREATMENT FLOW AND TREATMENT EFFICIENCY AS THE CDS UNIT SHOWN. THE TOWN ENGINEER SHALL ACT ON THE REQUEST AND THE REQUEST MUST BE APPROVED PRIOR TO THE SHIPMENT OF THE ALTERNATIVE TREATMENT UNIT TO THE SITE.

INDIVIDUAL HOME ROOF INFILTRATION:

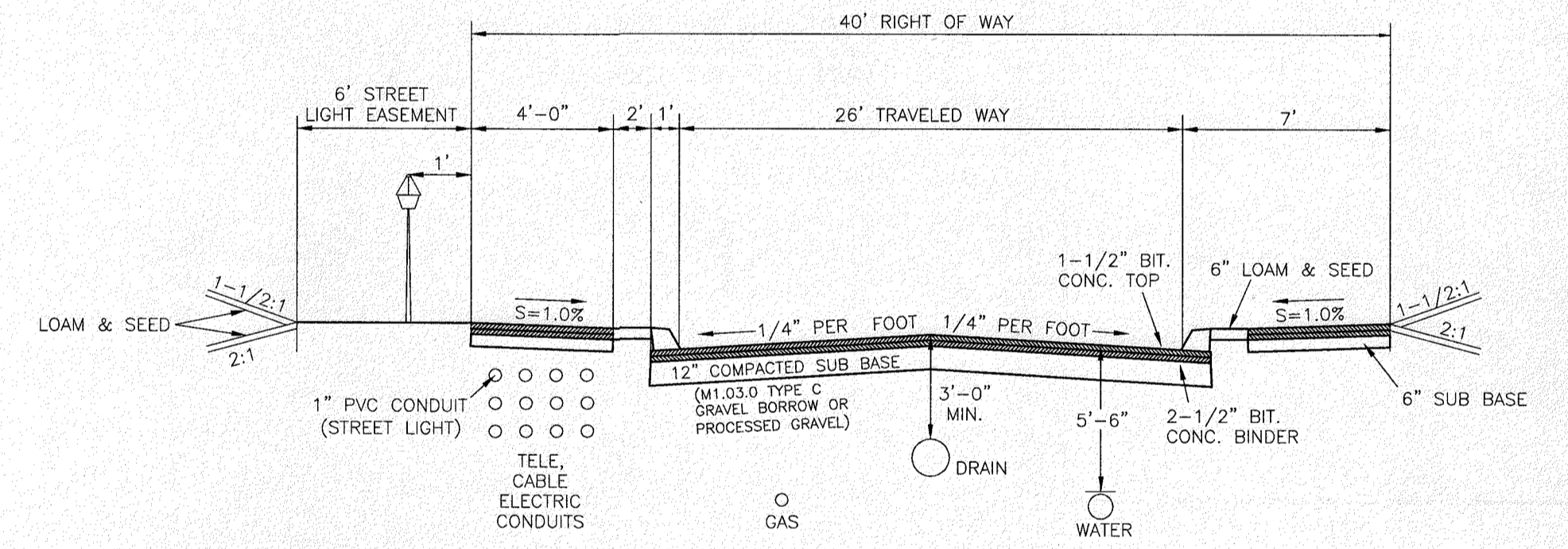
PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT, THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL EVALUATOR TO PERFORM SOIL TEST PITS IN THE LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AND THE DESIGN SHALL BE PERFORMED AS SET FORTH IN THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE. A MONITORING WELL SHALL BE PROVIDED FOR EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE, WHEN THE INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PIPING IS COMPLETE.

PLAN VIEW

DMH-3 (4 RT) STA=3+1.0 RIM=104.99.77 (CB1&2) 15" INV=89.52 (DMH6)
 DOUBLE GRATE CB1(RT) & CB2(LT) STA=3+0.0 RIM=104.08 INV=89.90 SUMP=95.90



PROFILE VIEW TUTTLE ROAD



DETAIL OF STREET AND SIDEWALK CROSS SECTION WITH BURIED UTILITIES (NOT TO SCALE)

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

LYNNFIELD PLANNING BOARD

DATE: _____

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

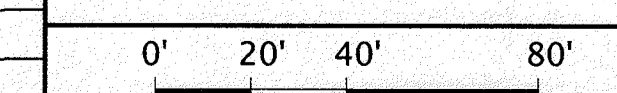
| | | |
|---|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE PLAN & PROFILE TUTTLE LANE LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055



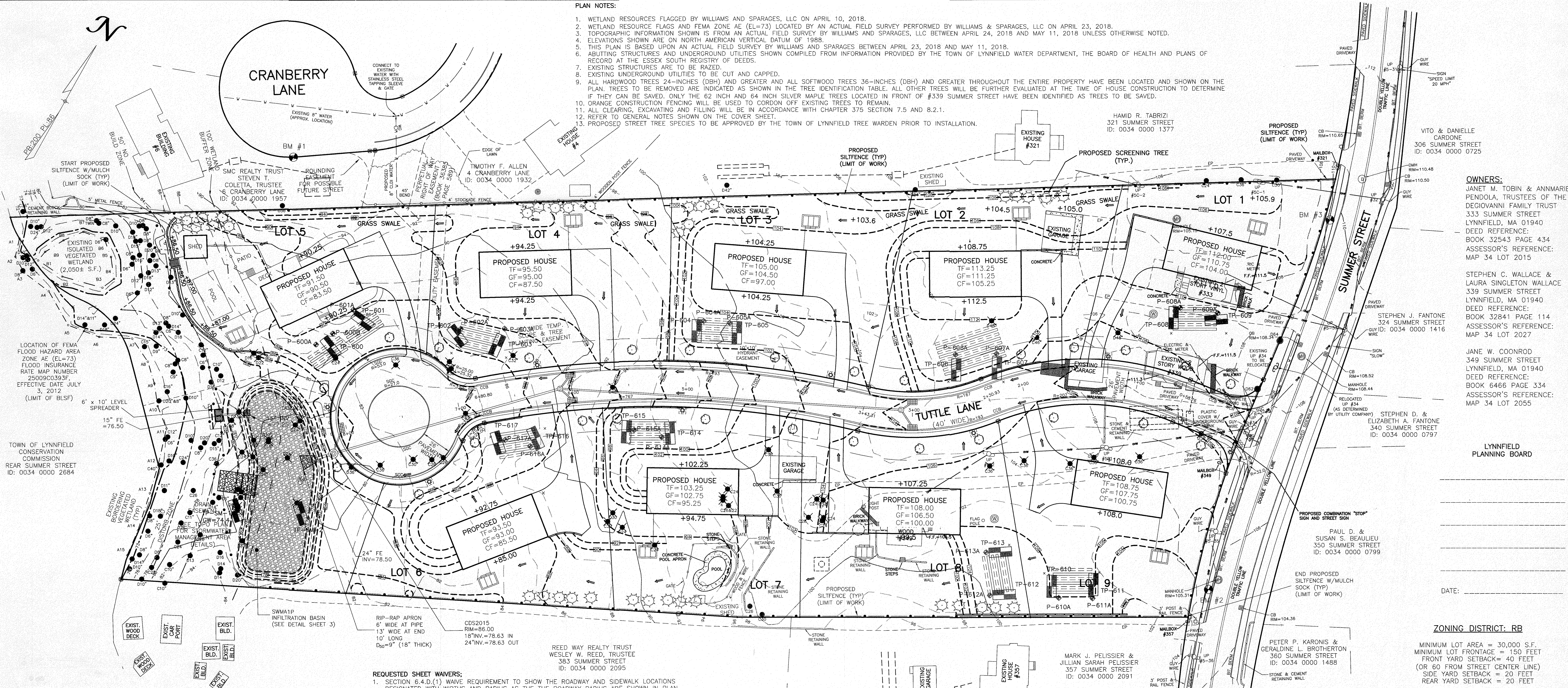
SCALE: 1"=40' (HOR) & 4'(VERT)
 NOVEMBER 21, 2018



PROFILE SHEET 1 OF 1 SHEET 4 OF 12

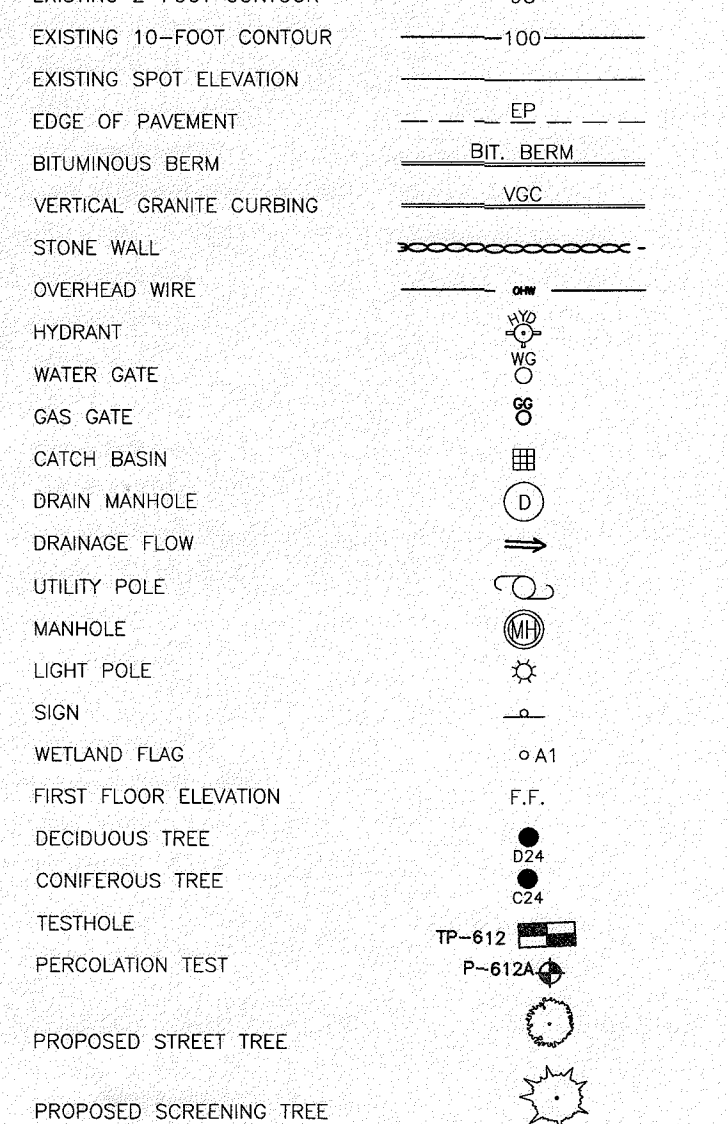
PLAN NOTES:

1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
3. TOPOGRAPHIC INFORMATION SHOWN IS FROM AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES, LLC BETWEEN APRIL 24, 2018 AND MAY 11, 2018 UNLESS OTHERWISE NOTED.
4. ELEVATIONS SHOWN ARE ON NORTH AMERICAN VERTICAL DATUM OF 1988.
5. THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY BY WILLIAMS AND SPARAGES BETWEEN APRIL 23, 2018 AND MAY 11, 2018.
6. ABUTTING STRUCTURES AND UNDERGROUND UTILITIES SHOWN COMPILED FROM INFORMATION PROVIDED BY THE TOWN OF LYNNFIELD WATER DEPARTMENT, THE BOARD OF HEALTH AND PLANS OF RECORD AT THE ESSEX SOUTH REGISTRY OF DEEDS.
7. EXISTING STRUCTURES ARE TO BE RAZED.
8. EXISTING UNDERGROUND UTILITIES TO BE CUT AND CAPPED.
9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.
10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORDON OFF EXISTING TREES TO REMAIN.
11. ALL CLEARING, EXCAVATING AND FILLING WILL BE IN ACCORDANCE WITH CHAPTER 375 SECTION 7.5 AND 8.2.1.
12. REFER TO GENERAL NOTES SHOWN ON THE COVER SHEET.
13. PROPOSED STREET TREE SPECIES TO BE APPROVED BY THE TOWN OF LYNNFIELD TREE WARDEN PRIOR TO INSTALLATION.



- BENCHMARKS: (N.A.V.D. 88)**
- #1) TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
 - #2) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
 - #3) TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37

LEGEND OF ABBREVIATIONS & SYMBOLS



REQUESTED SHEET WAIVERS:

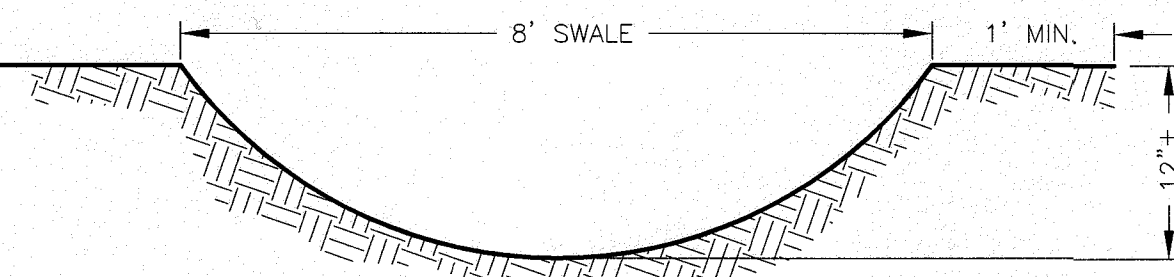
1. SECTION 6.4.D.(1) WAIVE REQUIREMENT TO SHOW THE ROADWAY AND SIDEWALK LOCATIONS DESIGNATED WITH WIDTHS AND RADII AS THE ROADWAY RADII ARE SHOWN IN PLAN VIEW AND THE SIDEWALK IS SHOWN ON THE ROADWAY SECTION DETAIL SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.
2. SECTION 6.4.D.(2) WAIVE REQUIREMENT TO SHOW CONTOURS AT 1' INTERVALS AS 2' INTERVALS WITH INDEX CONTOURS ARE SHOWN.
3. SECTION 6.4.B.(4) WAIVE THE REQUIREMENT TO SHOW THE SPECIES OF TREES, THE LOCATIONS, CALIPERS AND CLASSIFICATION (I.E. CONIFER OR DECIDUOUS) ARE SHOWN.
4. SECTION 6.4.D.(8) WAIVE REQUIREMENT TO SHOW TOP AND BOTTOM OF CURB GRADES AND RETAINING WALLS.
5. SECTION 6.4.D.(11) WAIVE REQUIREMENT TO SHOW INSERT OF THE DETENTION BASIN AS THE INSERT IS SHOWN ON DETAIL SHEET 3 OF 3 WITH PIPE LOCATIONS, STRUCTURES AND PIPE ELEVATIONS SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.

INDIVIDUAL HOME ROOF INFILTRATION:

PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT, THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL EVALUATOR TO PERFORM SOIL TEST PITS IN THE LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AND THE DESIGN SHALL BE PERFORMED AS SET FORTH IN THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE. A MONITORING WELL SHALL BE PROVIDED FOR EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE, WHEN THE INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PIPING IS COMPLETE.

STORMTECH INSTALLATION NOTES FOR ROOF TOP RUNOFF:

1. NO CONSTRUCTION EQUIPMENT TO BE DRIVEN OVER BOTTOM OF CHAMBER EXCAVATION.
2. EXCAVATION TO BE FREE OF SILT AND SHALL BE INSPECTED BY DESIGN ENGINEER.
3. CARE SHALL BE TAKEN TO PROTECT THE STONE FROM SILT AND OTHER CONTAMINANTS UNTIL THE INSTALLATION IS COMPLETE.
4. BASE STONE WITH CHAMBERS AND FILTER FABRIC TO BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
5. PHOTOGRAPHS OF EACH STEP OF THE INSTALLATION TO BE PROVIDED AFTER THE INSTALLATION IS COMPLETE.



GRASS SWALE

(NOT TO SCALE)

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

| PLANT SCHEDULE - SCREEN PLANTINGS | | | |
|-----------------------------------|------------------------------------|--------------------------|---------|
| QTY. | BOTANICAL NAME | COMMON NAME | SIZE |
| 37 | TOTAL | | |
| | SELECT FROM: | | |
| | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 8'-10' |
| | PICEA ABIES | NORWAY SPRUCE | 8'-10' |
| | PICEA GLAUCA | WHITE SPRUCE | 8'-10' |
| | PINUS STRUBUS | EASTERN WHITE PINE | 10'-12' |
| | THUJA OCCIDENTALIS 'DARK AMERICAN' | DARK AMERICAN ARBORVITAE | 10'-12' |
| | THUJA OCCIDENTALIS 'SMARAGD' | EMERALD GREEN ARBORVITAE | 10'-12' |
| | THUJA PLICATA 'GREEN GIANT' | GREEN GIANT ARBORVITAE | 10'-12' |

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

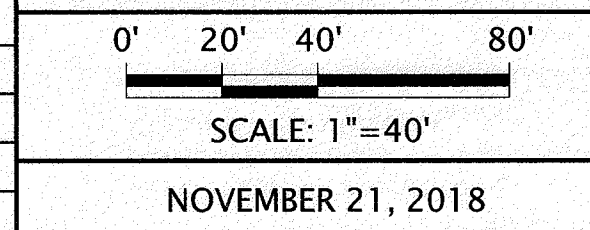
| | TOWN COMMENTS | |
|---|---------------|-----------|
| 6 | | |
| 5 | | 8/12/2019 |
| 4 | | 7/29/2019 |
| 3 | | 7/2/2019 |
| 2 | | 6/10/2019 |
| 1 | | 5/9/2019 |

DEFINITIVE TOPOGRAPHIC PLAN
TUTTLE LANE
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI MASS RE DEVELOPMENT, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055



OWNERS:
JANET M. TOBIN & ANMARIE PENDELA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE:
MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 32841 PAGE 114
ASSESSOR'S REFERENCE:
MAP 34 LOT 2027

JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE:
BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE:
MAP 34 LOT 2055

LYNNFIELD PLANNING BOARD

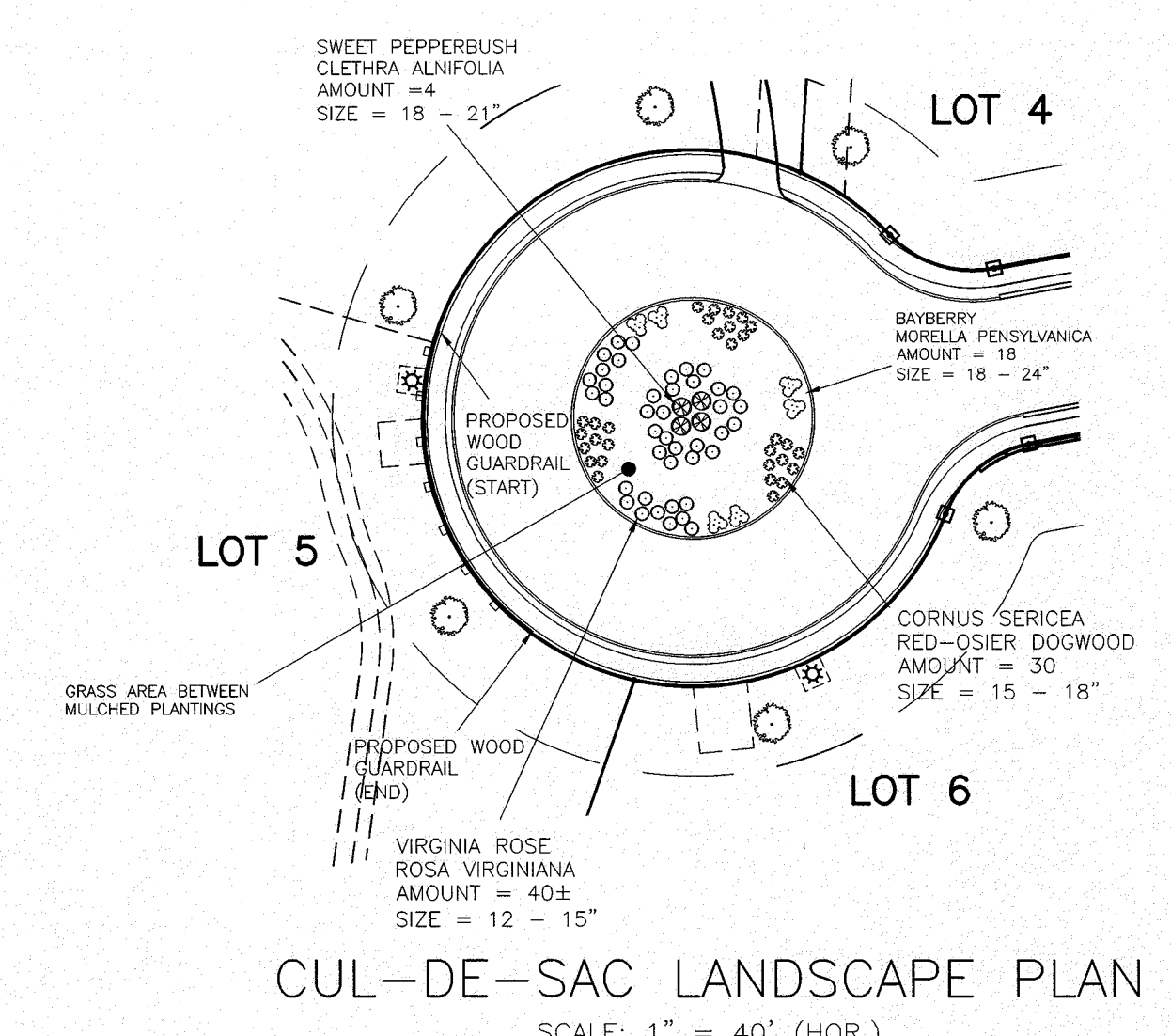
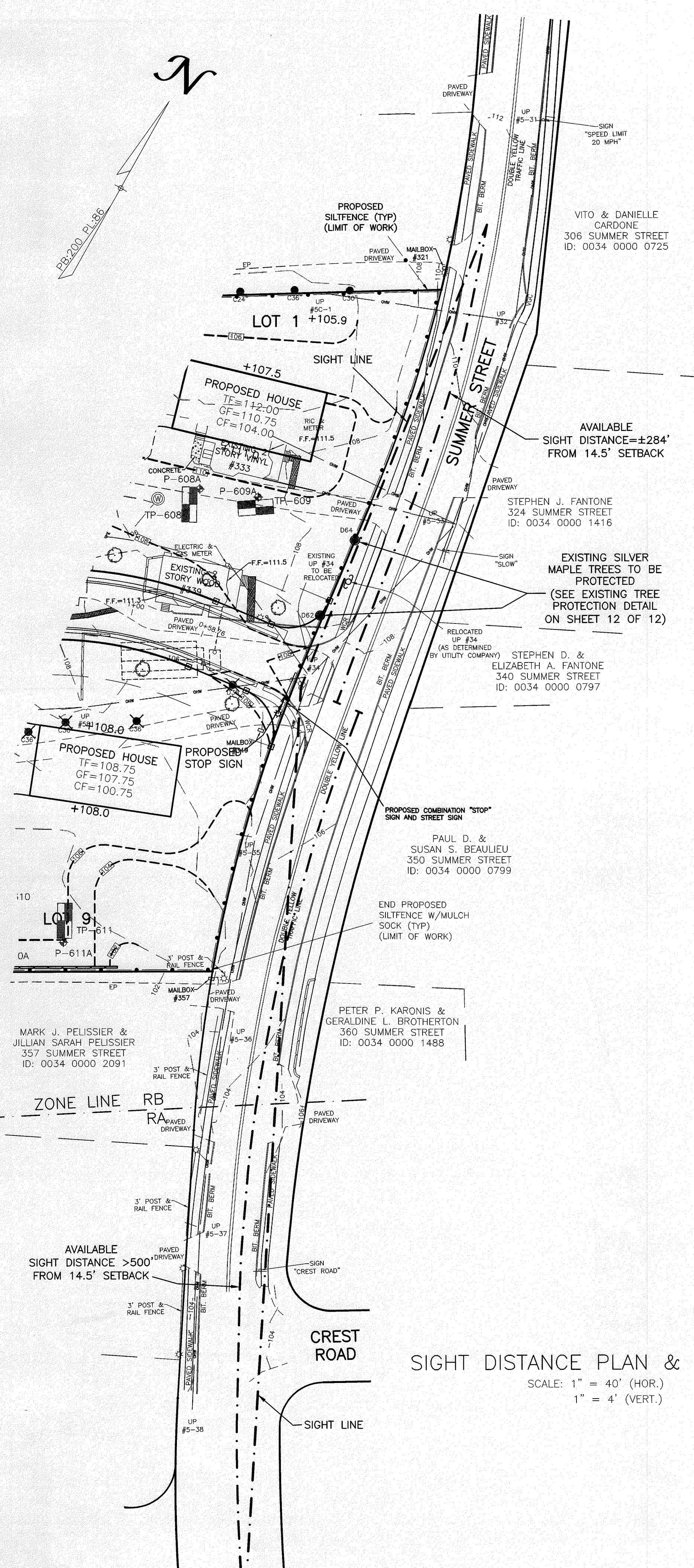
DATE: _____

ZONING DISTRICT: RB

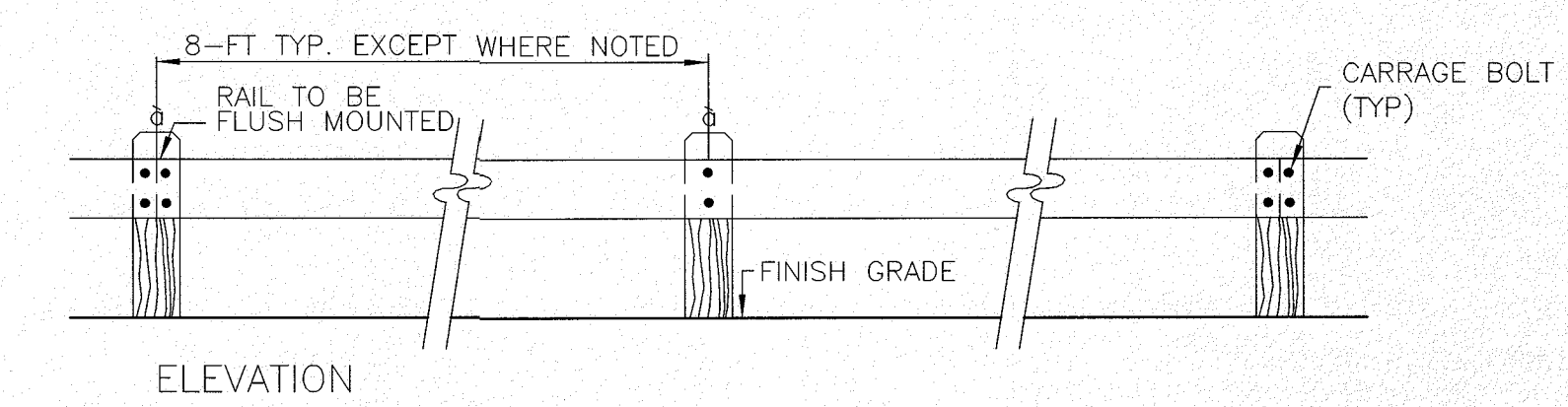
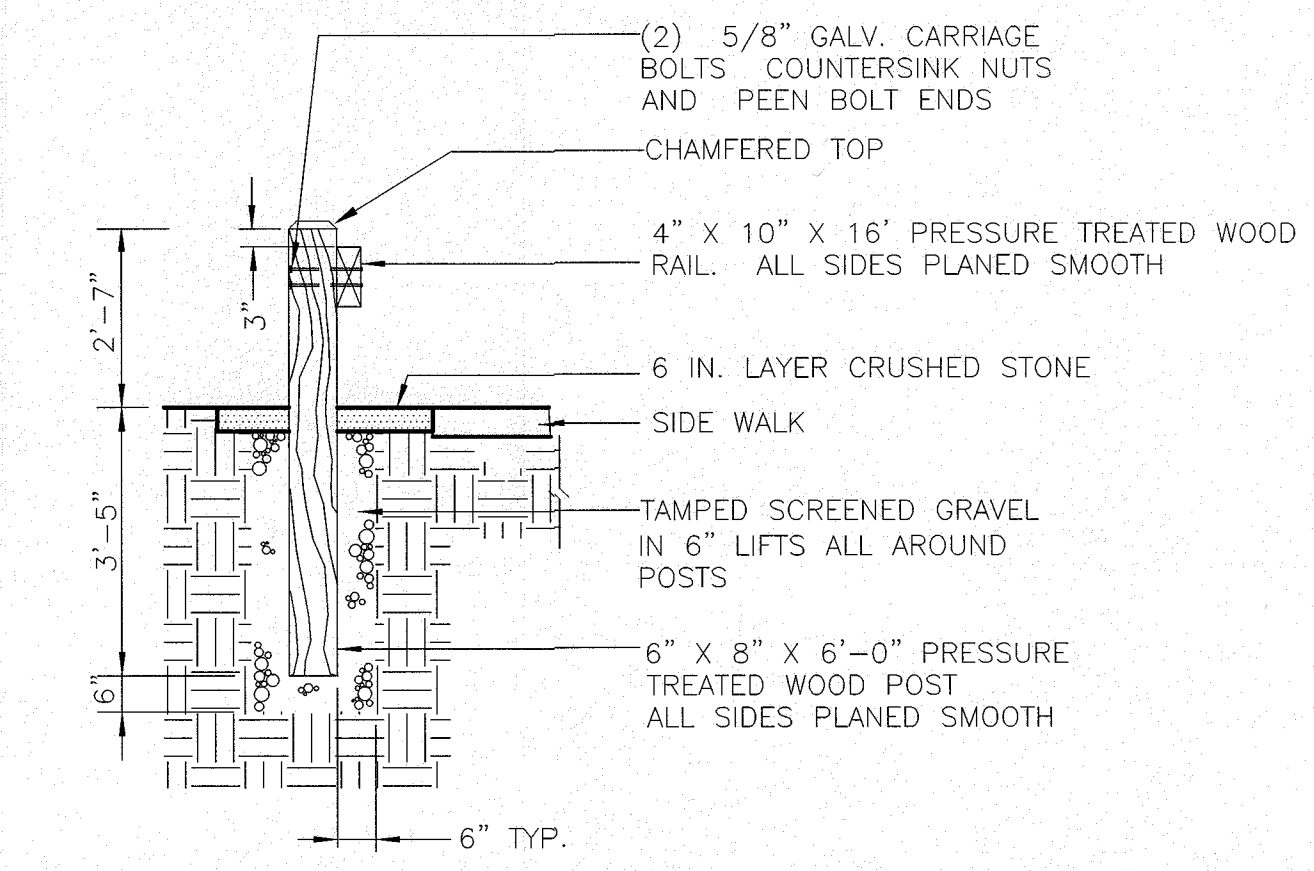
MINIMUM LOT AREA = 30,000 S.F.
MINIMUM LOT FRONTAGE = 150 FEET
FRONT YARD SETBACK = 40 FEET
(OR 60 FROM STREET CENTER LINE)
SIDE YARD SETBACK = 20 FEET
REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

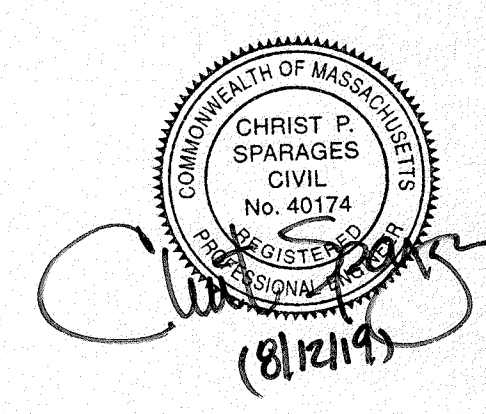
□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.



- BENCHMARKS: (N.A.V.D. 88)**
- #1 TOP OF STONE BOUND DRILL HOLE FRONT OF #6 CRANBERRY LANE - ELEV=93.80
 - #2 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 9) - ELEV=105.53
 - #3 TOP OF MAG NAIL IN SIDEWALK SUMMER STREET (LOT 1) - ELEV=110.37
- REQUESTED SHEET WAIVERS:**
1. SECTION 6.4.D.(1) WAIVE REQUIREMENT TO SHOW THE ROADWAY AND SIDEWALK LOCATIONS DESIGNATED WITH WIDTHS AND RADIUS AS THE ROADWAY RADIUS ARE SHOWN IN PLAN VIEW AND THE SIDEWALK IS SHOWN ON THE ROADWAY SECTION DETAIL SHOWN ON THE DEFINITIVE PROFILE SHEET 4 OF 11.
 2. SECTION 6.4.D.(2) WAIVE REQUIREMENT TO SHOW CONTOURS AT 1' INTERVALS AS 2' INTERVALS WITH INDEX CONTOURS ARE SHOWN.
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 5. SECTION 6.4.D.(11) WAIVE REQUIREMENT TO SHOW INSERT OF THE DETENTION BASIN AS THE INSERT IS SHOWN ON DETAIL SHEET 3 OF 3.



- PLAN NOTES:**
1. WETLAND RESOURCES FLAGGED BY WILLIAMS AND SPARAGES, LLC ON APRIL 10, 2018.
 2. WETLAND RESOURCE FLAGS AND FEMA ZONE AE (EL=73) LOCATED BY AN ACTUAL FIELD SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC ON APRIL 23, 2018.
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 9. ALL HARDWOOD TREES 24-INCHES (DBH) AND GREATER AND ALL SOFTWOOD TREES 36-INCHES (DBH) AND GREATER THROUGHOUT THE ENTIRE PROPERTY HAVE BEEN LOCATED AND SHOWN ON THE PLAN. TREES TO BE REMOVED ARE INDICATED AS SHOWN IN THE TREE IDENTIFICATION TABLE. ALL OTHER TREES WILL BE FURTHER EVALUATED AT THE TIME OF HOUSE CONSTRUCTION TO DETERMINE IF THEY CAN BE SAVED. ONLY THE 62 INCH AND 64 INCH SILVER MAPLE TREES LOCATED IN FRONT OF #339 SUMMER STREET HAVE BEEN IDENTIFIED AS TREES TO BE SAVED.
 10. ORANGE CONSTRUCTION FENCING WILL BE USED TO CORDON OFF EXISTING TREES TO REMAIN.
 11. ALL CLEARING, EXCAVATING AND FILLING WILL BE IN ACCORDANCE WITH CHAPTER 375 SECTION 7.5 AND 8.2.1.
 12. REFER TO GENERAL NOTES SHOWN ON THE COVER SHEET.
 13. SEE ALSO HOMEOWNERS ASSOCIATION (HOA) DOCUMENT INCORPORATED AS PART OF THE PLANNING BOARD DECISION.



OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD
 349 SUMMER STREET
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 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

| | | |
|---|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
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| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE TOPOGRAPHIC PLAN
TUTTLE LANE
 LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

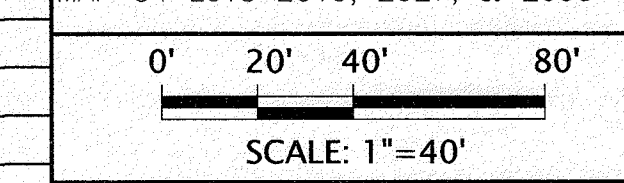
OWNER:
 SEE ABOVE

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

WILLIAMS & SPARAGES
 ENGINEERS | PLANNERS | SURVEYORS
 189 NORTH MAIN STREET
 SUITE 101
 MIDDLETON, MA 01949
 PHONE: (978) 539-8088
 FAX: (978) 539-8200
 WSENGINEERS.COM

TOPO SHEET 2 OF 2
SHEET 6 OF 12

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

CLERKS CERTIFICATION ON THE PLAN

DATE: _____

CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

LYNNFIELD PLANNING BOARD

DATE: _____

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
 MINIMUM LOT FRONTAGE = 150 FEET
 FRONT YARD SETBACK = 40 FEET
 (OR 60 FROM STREET CENTER LINE)
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

☐ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

LYNNFIELD PLANNING BOARD

DATE: _____

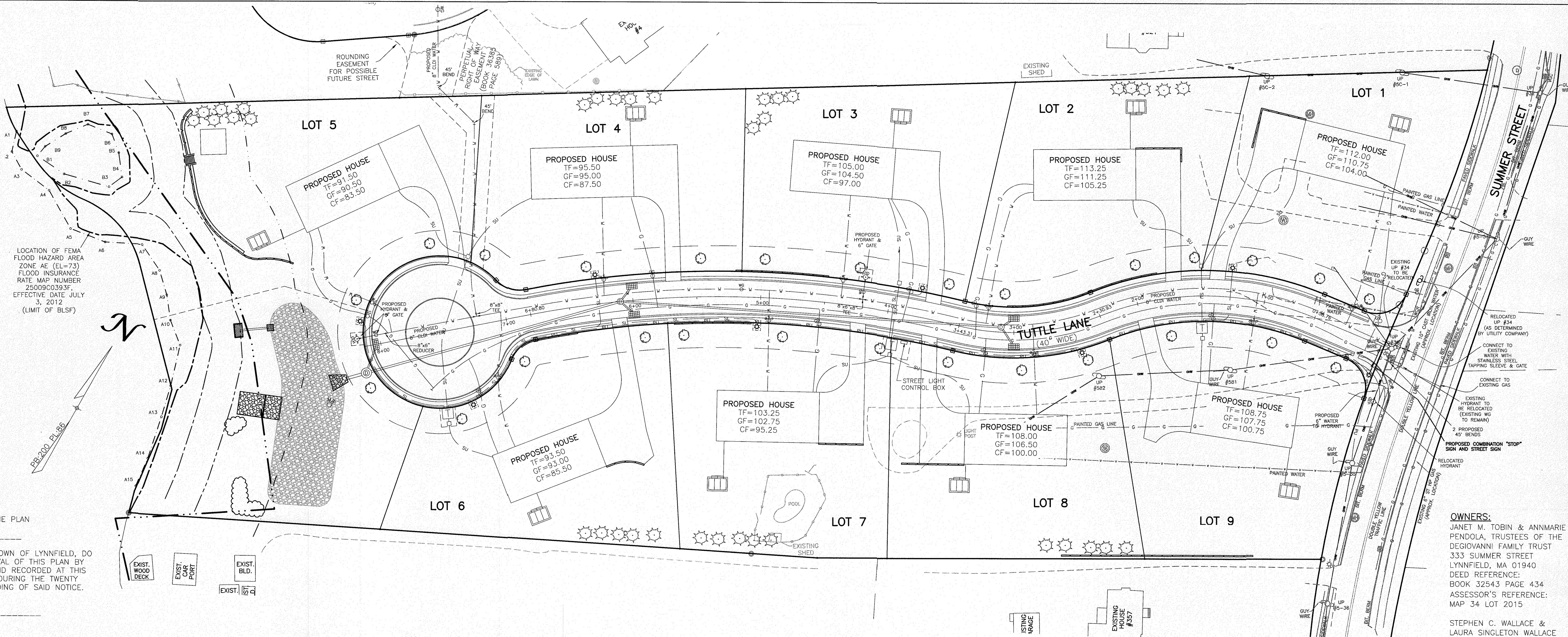
CLERK'S CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 25009C0333F EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

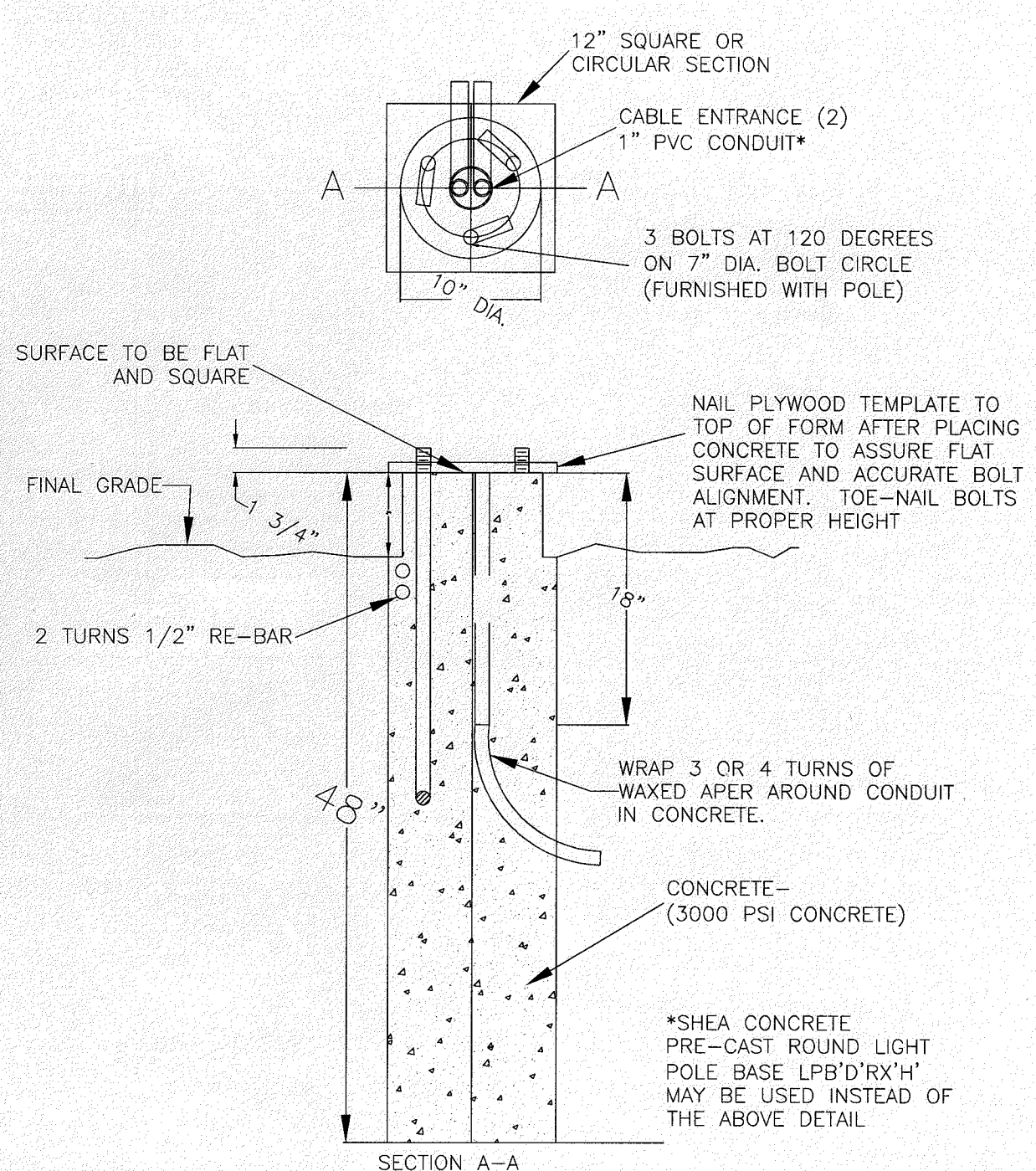


OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE:
 BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE:
 MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE:
 BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE:
 MAP 34 LOT 2027

JANE W. COONROD
 349 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE:
 BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE:
 MAP 34 LOT 2055

☐ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.



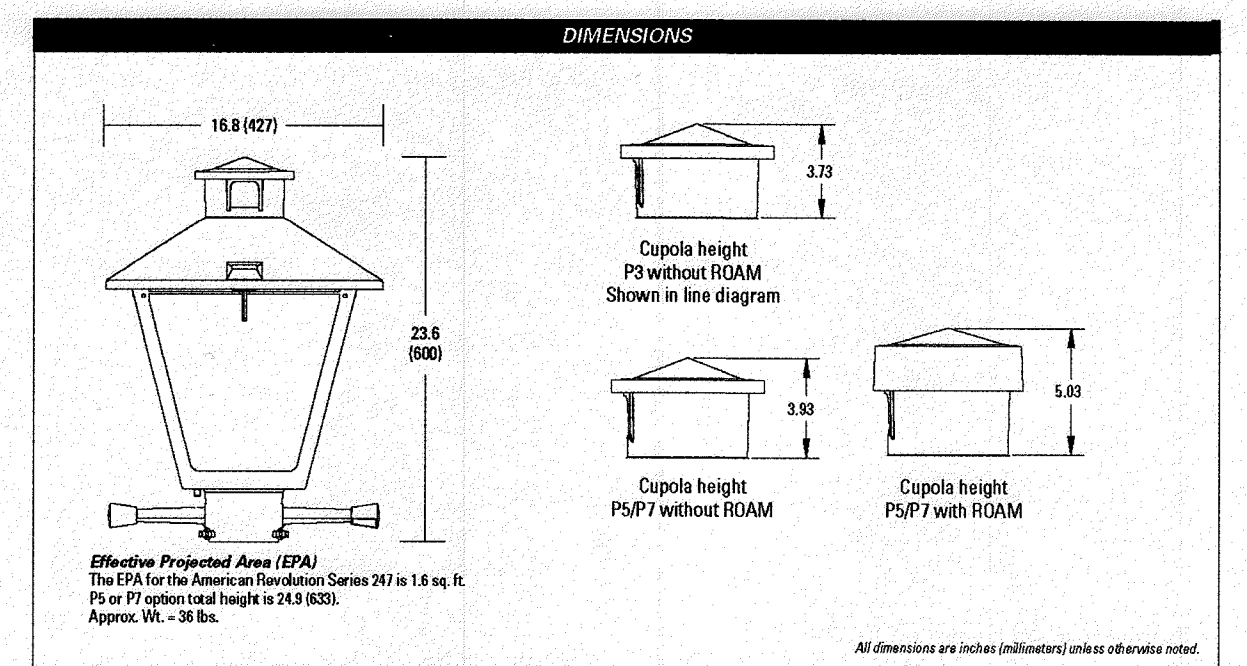
STREET LIGHT POLE BASE
 DETAIL
 NOT TO SCALE

American Revolution LED Series 247L

PRODUCT OVERVIEW

- Features:**
- Die-cast aluminum housing and hood for long-life performance
 - Die-cast trigger latch (TL) and captive thumb screws option available for easy access to internal components
 - Optical assembly designed for maximum performance, available in Type II, Type III and Type V
 - Hinged hood and captive thumb screws provision afford quick, easy access to electrical and optical area for servicing
 - Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
 - Surge protection device (standard) exceeds ANSI C82.41 Category C1 criteria (surge tested at 100V/50A)
 - Complies with ANSI: C136.2, C138.10, C138.15
 - CSA listed and suitable for up to 30°C ambient
 - Rated L70, LED life greater than 100,000 hours at 25°C
 - Replaces up to 150W HPS light source incumbent models
 - LED electronic 0V-10V dimmable driver
 - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DPL to confirm which versions are qualified.

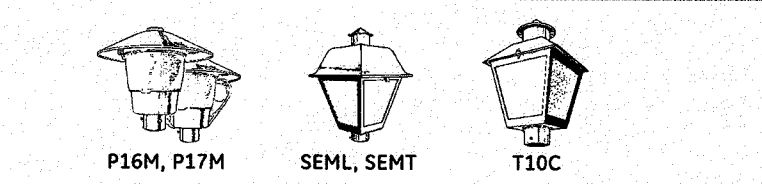
- Applications:**
- Streetscapes
 - Walkways
 - Pathways
 - Parks



Note: Specifications subject to change without notice.
 American Revolution Series 247L LED
 AMERICANA ELECTRIC LIGHTING PART #247L-20LED70-MVOLT-4K-R5-AY-PCLL
 AEL American Electric Lighting

ALUMINUM ROUND TAPERED AREA LIGHTING POLES 10 TO 20 FEET (3 TO 6 METERS)

SUGGESTED LUMINAIRE APPLICATIONS



- SPECIFICATION FEATURES**
- Round tapered aluminum shaft
 - Satin ground finish
 - Shaft lengths from 10 to 20 feet
 - Three inch OD top for mounting
 - Point finish is powder coat
 - Block and dark bronze finishes available
 - Choice of anchor, transformer, or embedded base
 - Paint finish is powder coat

POLE SELECTION TABLE

| Nominal Mounting Height (ft) | Weight (lbs) | Effective Projected Area (sq ft) | MPN | MPN Ordering | Shaft Dimensions | | Approx. Weight (lbs) | Pole Base Data Item Number |
|------------------------------|--------------|----------------------------------|-----|--------------|--|--|----------------------|----------------------------|
| | | | | | Bottom OD x Top OD x Length x Thickness (in. x in. x ft-in. x in.) | Top OD x Length x Thickness (in. x in. x ft-in. x in.) | | |
| 10 | 50 | 4.1 | 3.2 | 2.4 | ART14035A0ASNK | 4.0 X 3.0 X 10-0 X 0.125 | 20 | 40 42 |
| 12 | 50 | 3.0 | 2.2 | 1.6 | 1235A0ASNK | 4.0 X 3.0 X 12-0 X 0.125 | 23 | 40 42 |
| 12 | 95 | 5.4 | 5.0 | 4.0 | 1435A0ASNK | 4.0 X 3.0 X 12-0 X 0.125 | 25 | 41 42 |
| 14 | 50 | 2.0 | 1.4 | 0.9 | 1435A0ASNK | 4.0 X 3.0 X 14-0 X 0.125 | 25 | 40 42 |
| 14 | 95 | 5.2 | 5.9 | 3.2 | 1435A0ASNK | 4.0 X 3.0 X 14-0 X 0.125 | 29 | 41 42 |
| 14 | 110 | 7.9 | 6.2 | 4.9 | 1435A0ASNK | 5.0 X 3.0 X 14-0 X 0.188 | 41 | 41 42 |
| 16 | 50 | 2.1 | 1.8 | 0.5 | 1835A0ASNK | 4.0 X 3.0 X 16-0 X 0.125 | 29 | 40 42 |
| 16 | 95 | 4.1 | 3.2 | 2.5 | 1835A0ASNK | 5.0 X 3.0 X 16-0 X 0.125 | 33 | 41 42 |
| 16 | 110 | 6.5 | 5.1 | 4.0 | 1835A0ASNK | 5.0 X 3.0 X 16-0 X 0.188 | 46 | 41 42 |
| 18 | 60 | 3.4 | 2.6 | 2.0 | 1835A0ASNK | 5.0 X 3.0 X 18-0 X 0.125 | 36 | 41 42 |
| 18 | 110 | 5.6 | 4.2 | 3.3 | 1835A0ASNK | 5.0 X 3.0 X 18-0 X 0.188 | 52 | 41 42 |
| 20 | 50 | 2.5 | 1.9 | 1.5 | 2035A0ASNK | 5.0 X 3.0 X 20-0 X 0.125 | 40 | 41 42 |
| 20 | 95 | 4.5 | 3.4 | 2.7 | 2035A0ASNK | 5.0 X 3.0 X 20-0 X 0.188 | 57 | 41 42 |

ORDERING NUMBER LOGIC (See Pole Selection Table for actual Ordering Numbers)

| PRODUCT IDENT | POLE | SHAFT | POLE | NOMINAL | MOUNTING | SHAFT DIMENSIONS | FINISH | BASE TYPE | |
|---------------|-----------|-------------|--------------|-------------|----------|------------------|-----------------|---|---|
| LOGIC | SECTION | SHAPE | MATERIAL | HEIGHT (ft) | TYPE | TOP (in.) | THICKNESS (in.) | | |
| A = Area | R = Round | T = Tapered | A = Aluminum | 10-10 | 10 | 4.0 x 4.0 | A = 0.125 | R = Black D = Dark Bronze E = Embedded S = Satin Ground T = Translucent U = Unfinished V = Vandal Resistant | A = Anchor E = Embedded T = Transformer |

REFERENCES: See Page P-21 for Pole Base Data. See Page P-2 for Pole Selection Guidelines.

STREET LIGHT POLE DETAIL
 NOT TO SCALE

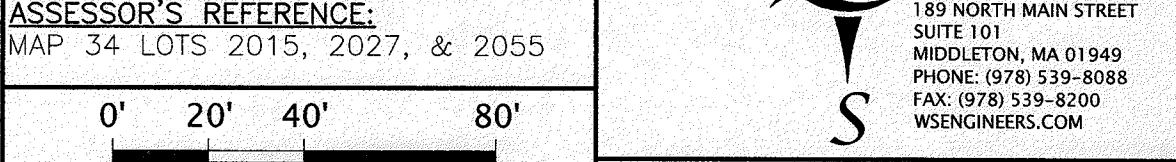
| | | |
|---|---------------------------|-----------|
| 6 | TOWN COMMENTS | 8/12/2019 |
| 5 | TOWN COMMENTS | 7/29/2019 |
| 4 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE STREET LIGHTING PLAN
 TUTTLE LANE
 LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE ABOVE

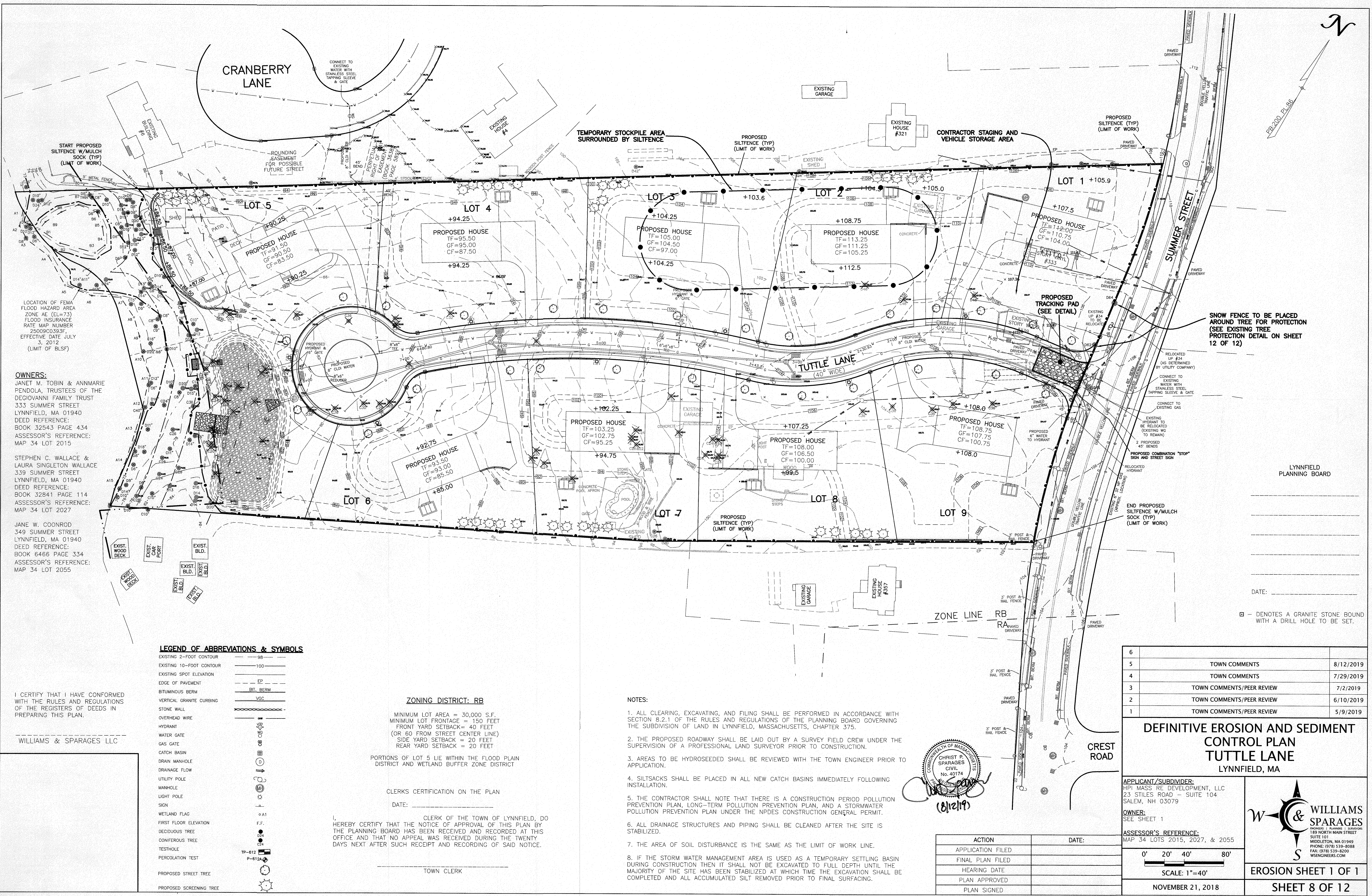
ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055



NOVEMBER 21, 2018



LIGHTING SHEET 1 OF 1
 SHEET 7 OF 12



LOCATION OF FEMA FLOOD HAZARD AREA ZONE AE (EL=73) FLOOD INSURANCE RATE MAP NUMBER 2509030337 EFFECTIVE DATE JULY 3, 2012 (LIMIT OF BLSF)

OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027

JANE W. COONROD
 349 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

LEGEND OF ABBREVIATIONS & SYMBOLS

- EXISTING 2'-FOOT CONTOUR ——— 98
- EXISTING 10'-FOOT CONTOUR ——— 100
- EXISTING SPOT ELEVATION ——— EP
- EDGE OF PAVEMENT ——— EP
- BITUMINOUS BERM ——— BMT. BERM
- VERTICAL GRANITE CURBING ——— VGC
- STONE WALL ———
- OVERHEAD WIRE ———
- HYDRANT ———
- WATER GATE ———
- GAS GATE ———
- CATCH BASIN ———
- DRAIN MANHOLE ———
- DRAINAGE FLOW ———
- UTILITY POLE ———
- MANHOLE ———
- LIGHT POLE ———
- SIGN ———
- WETLAND FLAG ———
- FIRST FLOOR ELEVATION ———
- DECIDUOUS TREE ———
- CONIFEROUS TREE ———
- TESTHOLE ———
- PERCOLATION TEST ———
- PROPOSED STREET TREE ———
- PROPOSED SCREENING TREE ———

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

ZONING DISTRICT: RB

MINIMUM LOT AREA = 30,000 S.F.
 MINIMUM LOT FRONTAGE = 150 FEET
 FRONT YARD SETBACK = 40 FEET (OR 60 FROM STREET CENTER LINE)
 SIDE YARD SETBACK = 20 FEET
 REAR YARD SETBACK = 20 FEET

PORTIONS OF LOT 5 LIE WITHIN THE FLOOD PLAIN DISTRICT AND WETLAND BUFFER ZONE DISTRICT

CLERKS CERTIFICATION ON THE PLAN

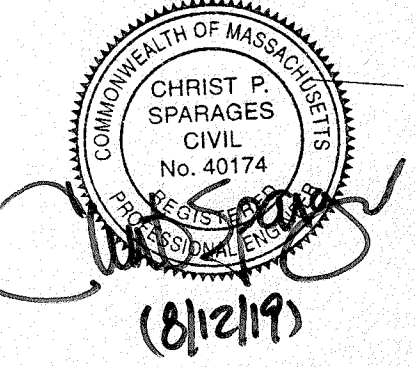
DATE: _____

I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

NOTES:

- ALL CLEARING, EXCAVATING, AND FILING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 8.2.1 OF THE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND IN LYNNFIELD, MASSACHUSETTS, CHAPTER 375.
- THE PROPOSED ROADWAY SHALL BE LAID OUT BY A SURVEY FIELD CREW UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR PRIOR TO CONSTRUCTION.
- AREAS TO BE HYDROSEED SHALL BE REVIEWED WITH THE TOWN ENGINEER PRIOR TO APPLICATION.
- SILTSACKS SHALL BE PLACED IN ALL NEW CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION.
- THE CONTRACTOR SHALL NOTE THAT THERE IS A CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN, LONG-TERM POLLUTION PREVENTION PLAN, AND A STORMWATER POLLUTION PREVENTION PLAN UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.
- ALL DRAINAGE STRUCTURES AND PIPING SHALL BE CLEANED AFTER THE SITE IS STABILIZED.
- THE AREA OF SOIL DISTURBANCE IS THE SAME AS THE LIMIT OF WORK LINE.
- IF THE STORM WATER MANAGEMENT AREA IS USED AS A TEMPORARY SETTLING BASIN DURING CONSTRUCTION THEN IT SHALL NOT BE EXCAVATED TO FULL DEPTH UNTIL THE MAJORITY OF THE SITE HAS BEEN STABILIZED AT WHICH TIME THE EXCAVATION SHALL BE COMPLETED AND ALL ACCUMULATED SILT REMOVED PRIOR TO FINAL SURFACING.



| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

| | | |
|---|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE EROSION AND SEDIMENT CONTROL PLAN
TUTTLE LANE
 LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079

OWNER:
 SEE SHEET 1

ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055

0' 20' 40' 80'

SCALE: 1"=40'

NOVEMBER 21, 2018

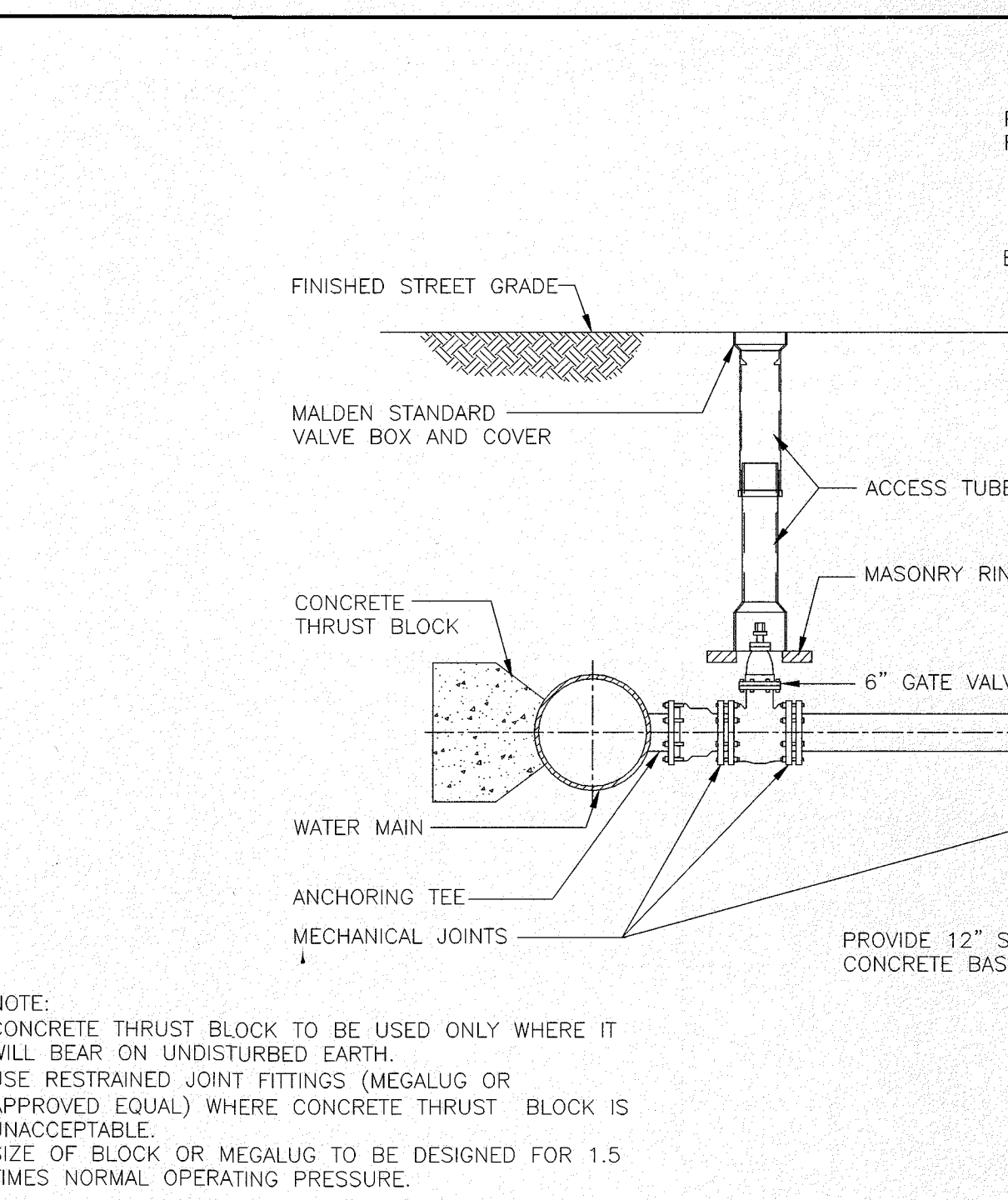
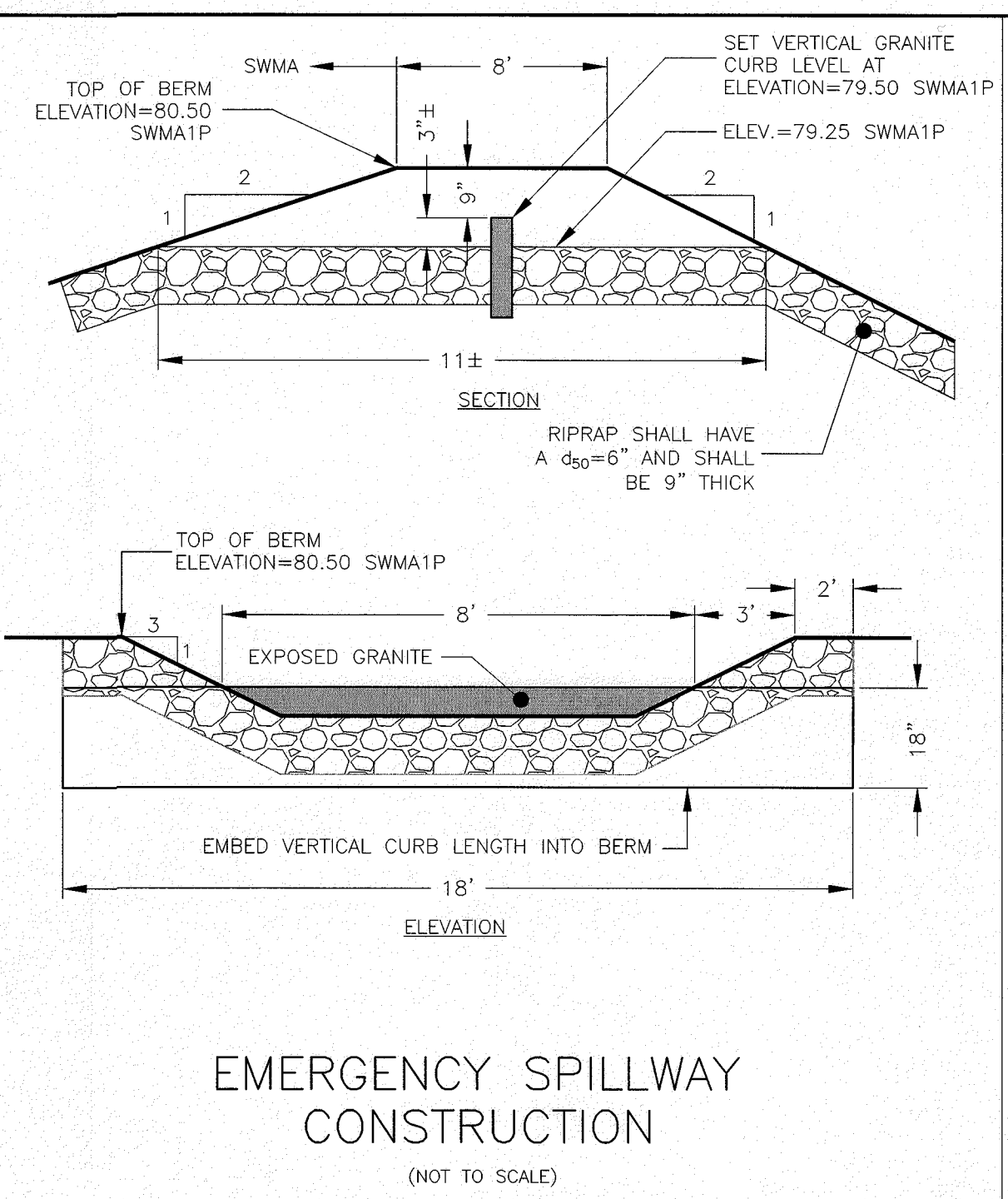
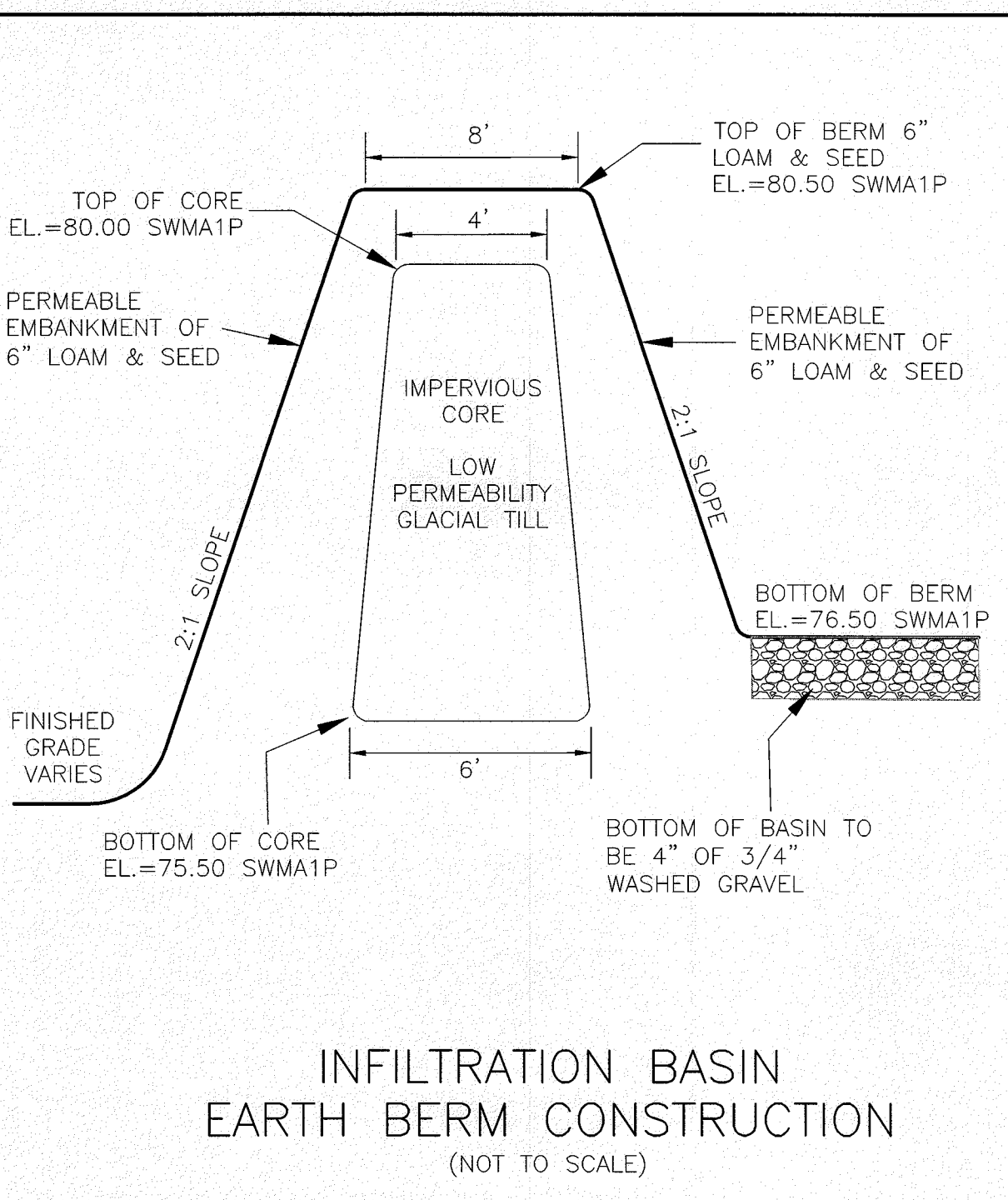
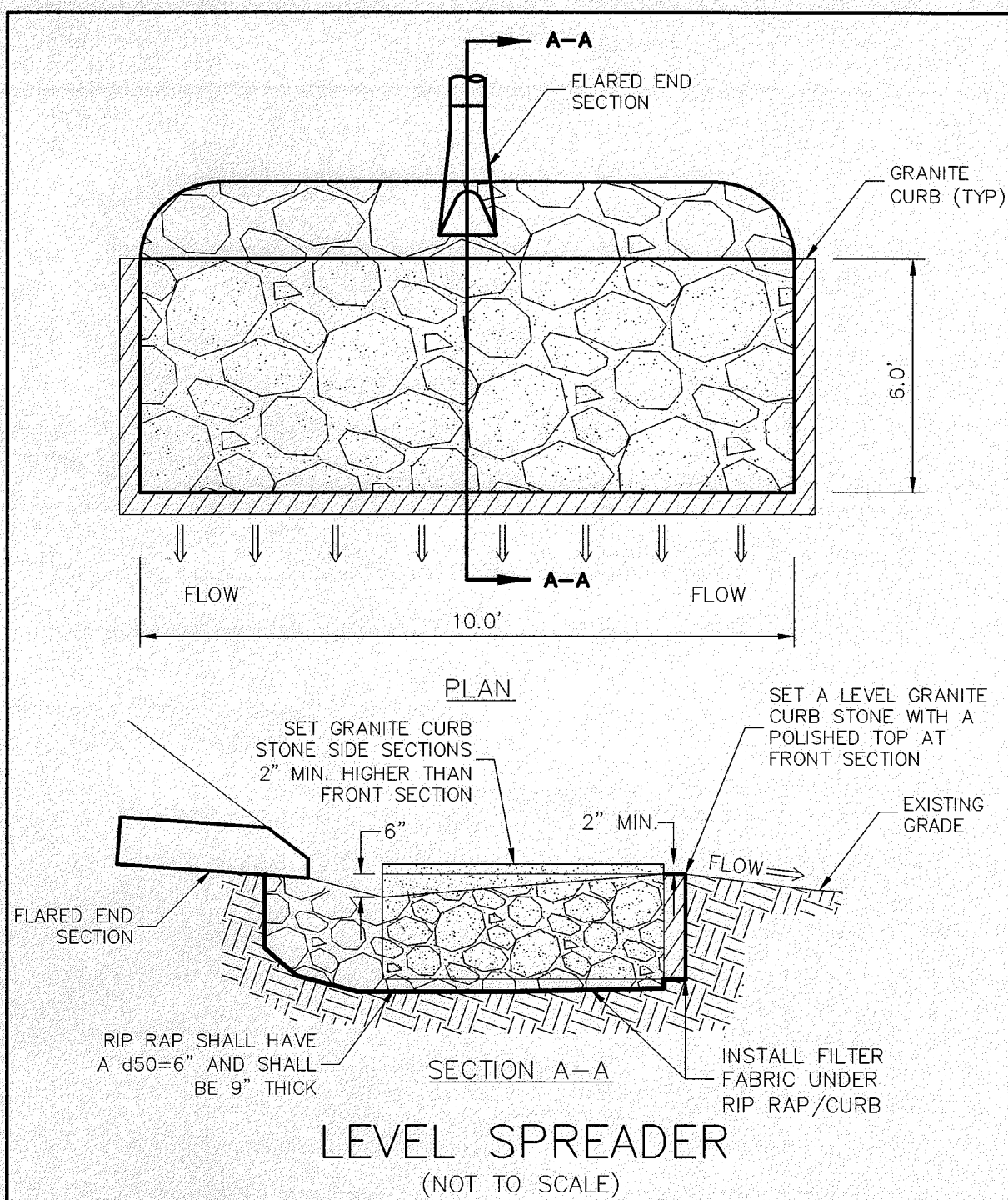


EROSION SHEET 1 OF 1
SHEET 8 OF 12

DATE: _____

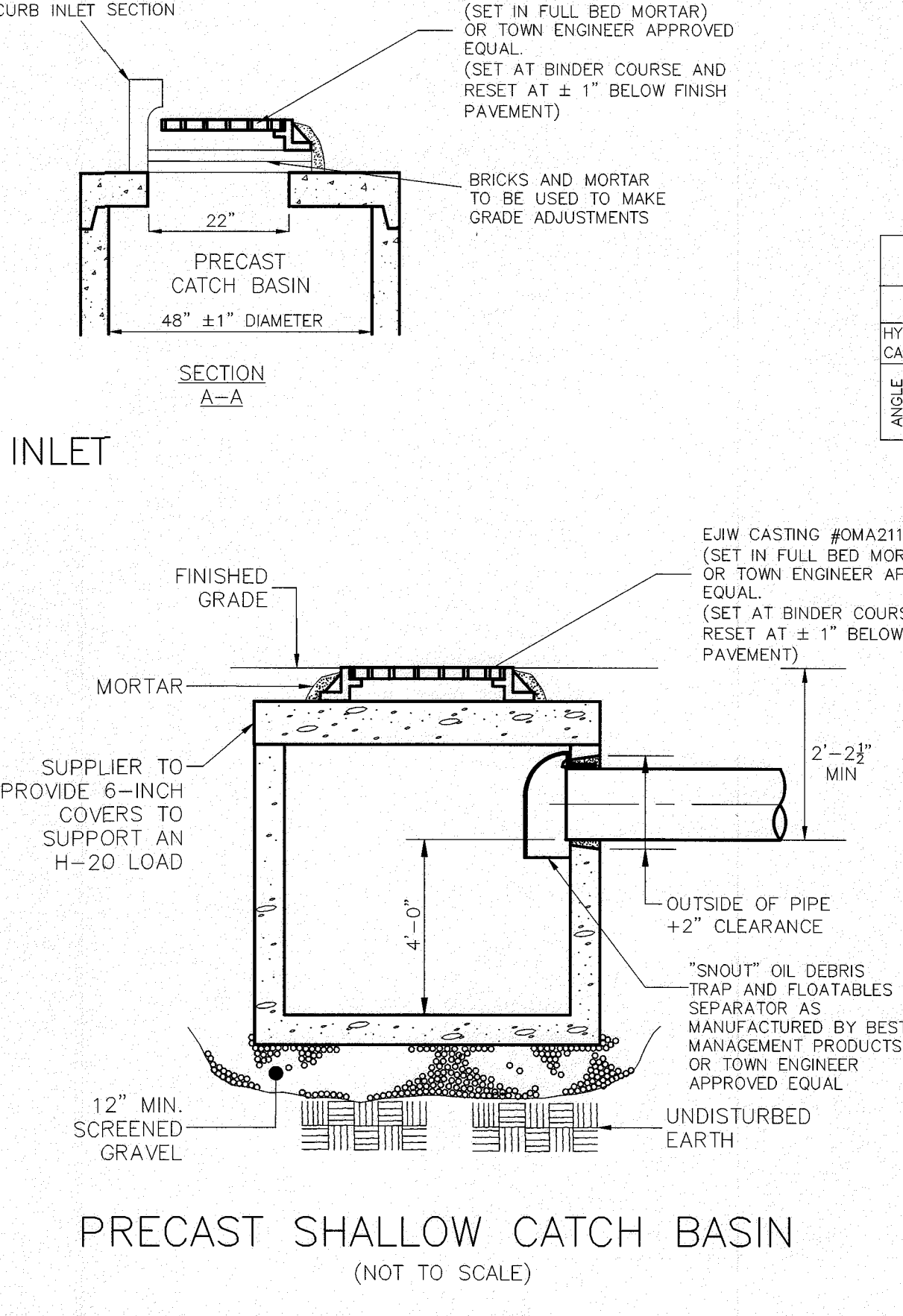
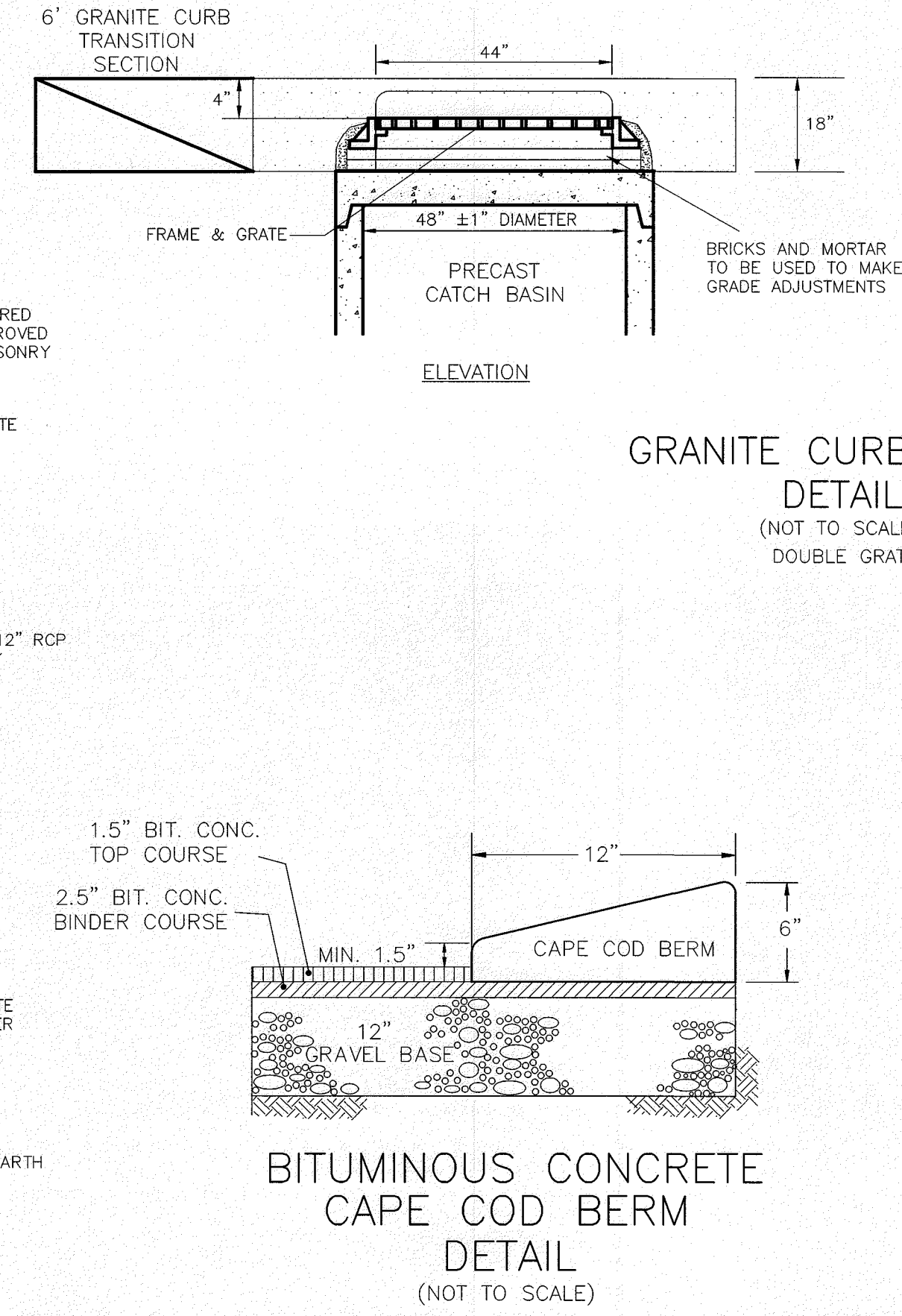
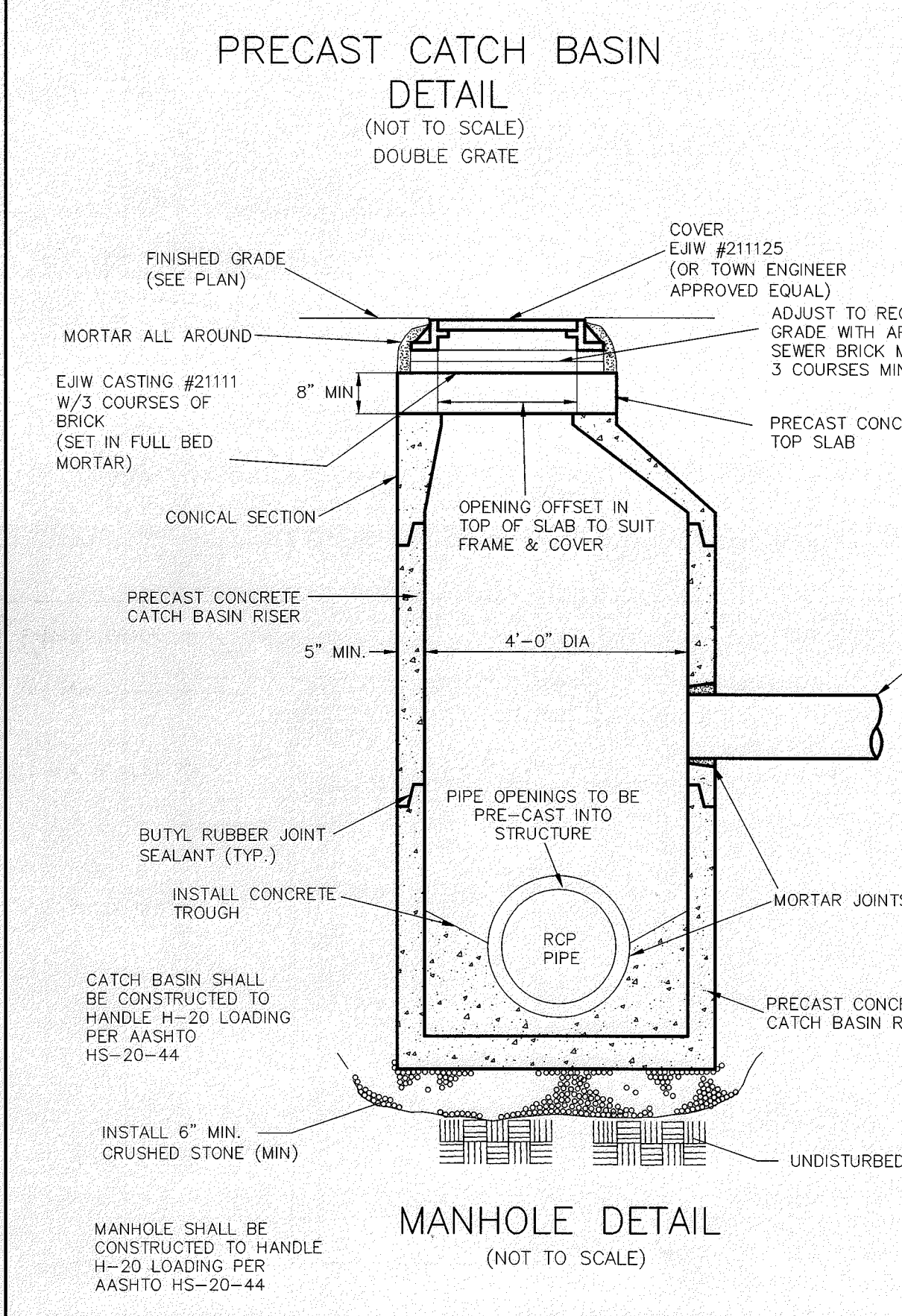
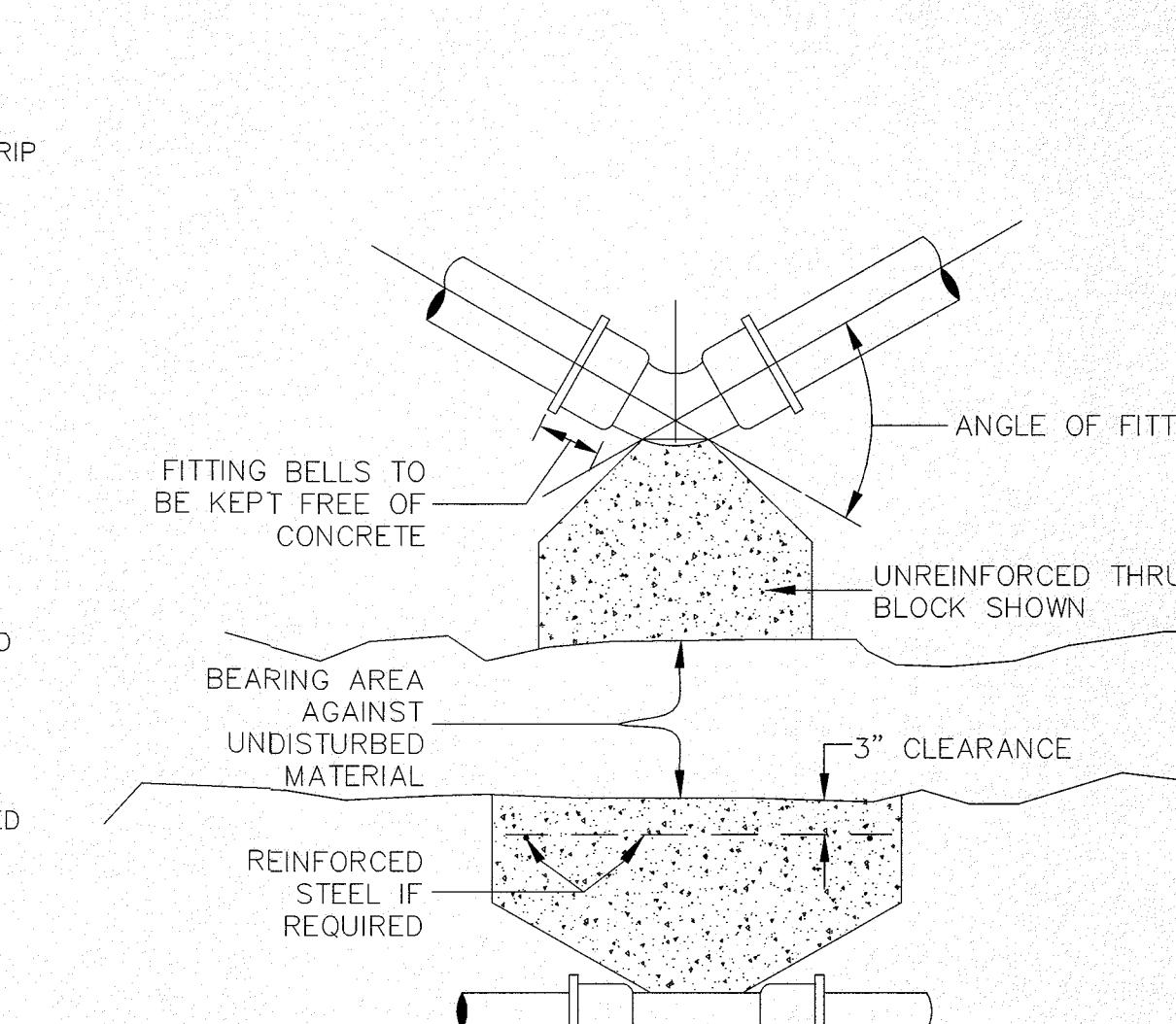
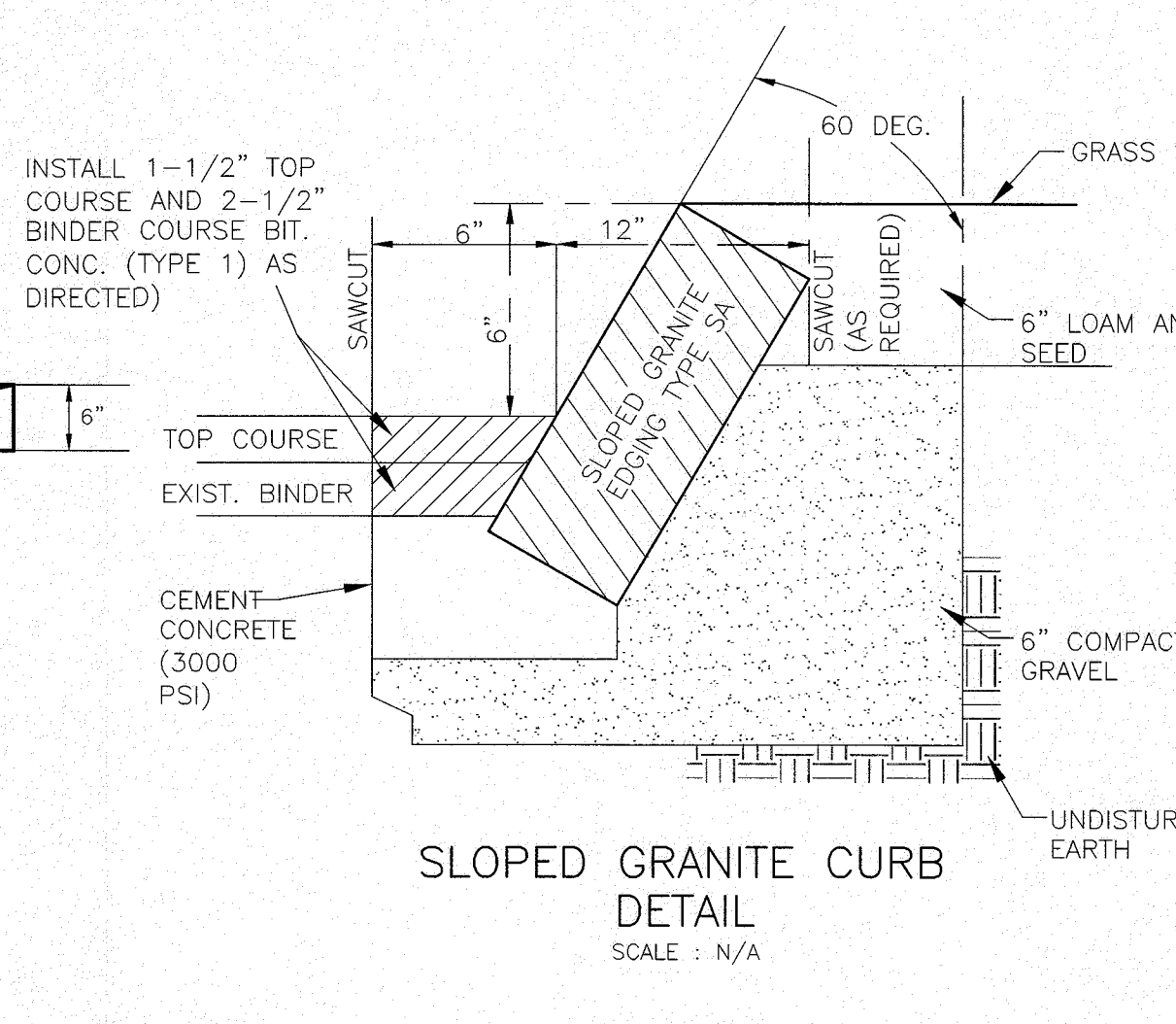
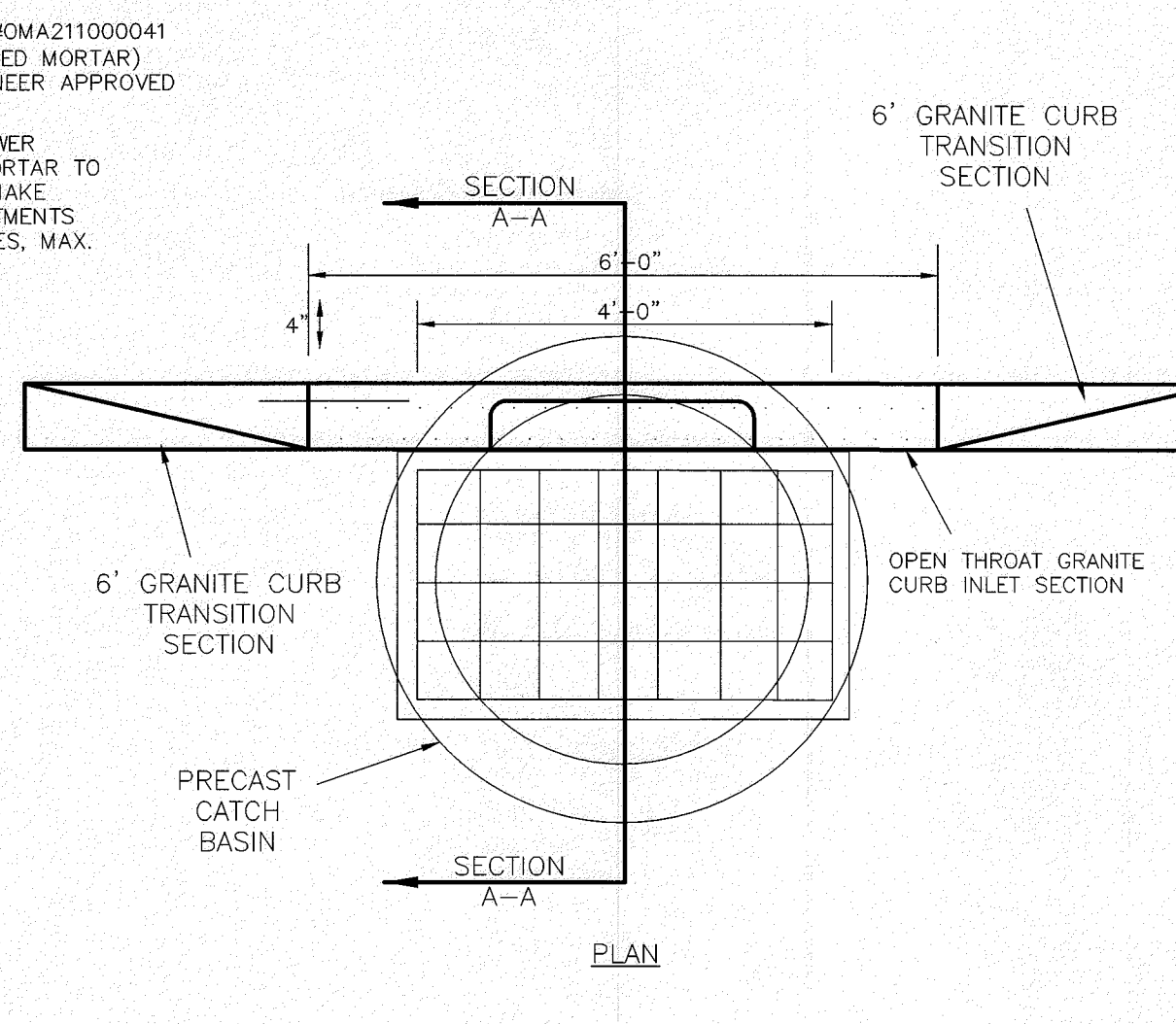
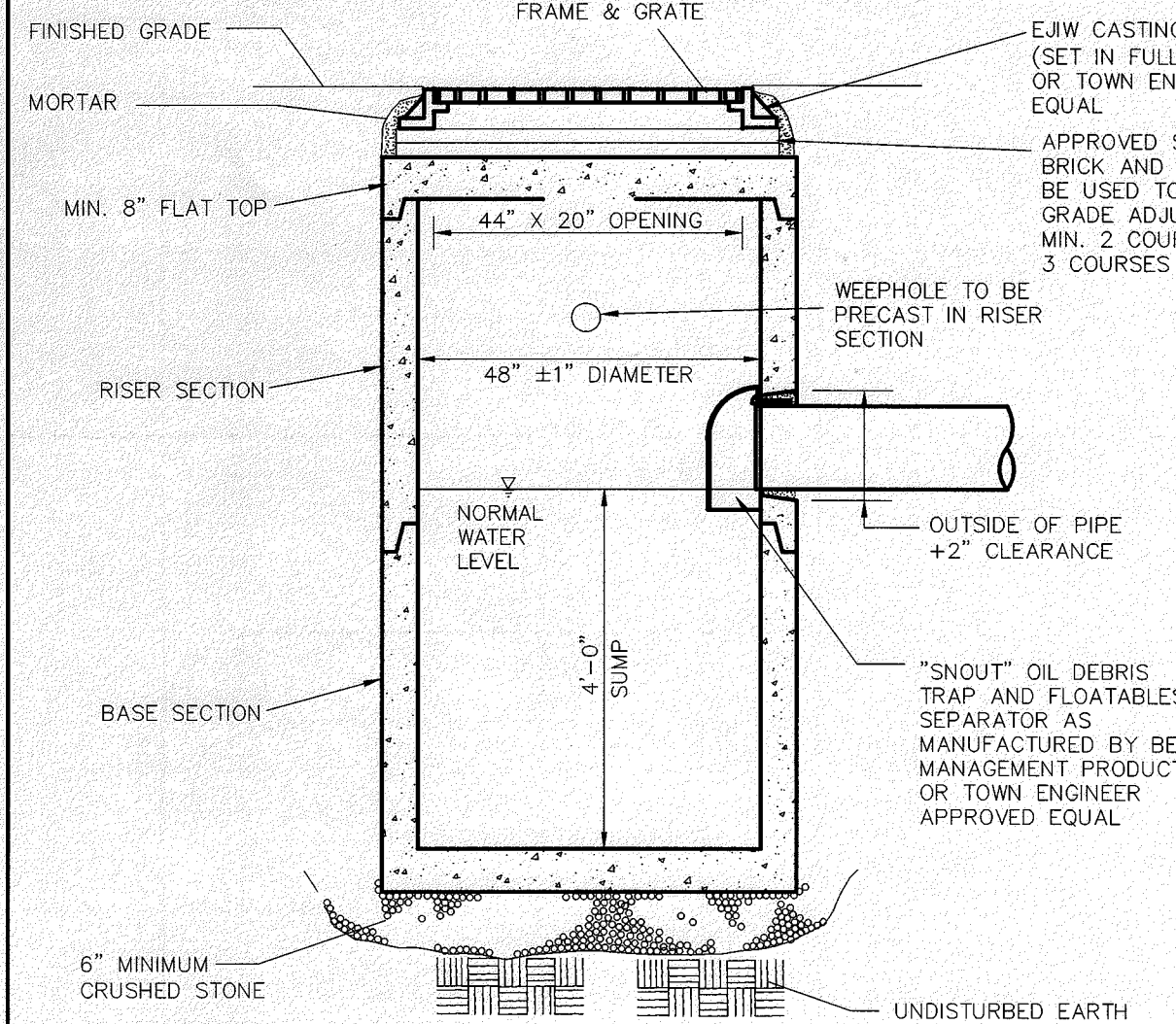
□ - DENOTES A GRANITE STONE BOUND WITH A DRILL HOLE TO BE SET.

LYNNFIELD PLANNING BOARD



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARGES LLC



MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK

| PIPE DIAMETER INCHES | 6 in. | 8 in. | 10 in. | 12 in. |
|--|-------|-------|--------|--------|
| HYDRANTS, PLUGS, CAPS, AND TEES (S.F.) | 4 | 6 | 9 | 13 |
| 90° (S.F.) | 8 | 12 | 19 | 26 |
| 45° (S.F.) | 5 | 8 | 13 | 18 |
| 22 1/2° (S.F.) | 3 | 5 | 7 | 10 |

OWNERS:
JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE: BOOK 32543 PAGE 434
ASSESSOR'S REFERENCE: MAP 34 LOT 2015

STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
339 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE: BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE: MAP 34 LOT 2055

JANE W. COONROD
349 SUMMER STREET
LYNNFIELD, MA 01940
DEED REFERENCE: BOOK 6466 PAGE 334
ASSESSOR'S REFERENCE: MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN
DATE: _____

TOWN CLERK

| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

LYNNFIELD PLANNING BOARD

DEFINITIVE CONSTRUCTION DETAILS
TUTTLE LANE
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI MASS RE DEVELOPMENT, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE SHEET 1

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

SCALE: AS SHOWN

NOVEMBER 21, 2018

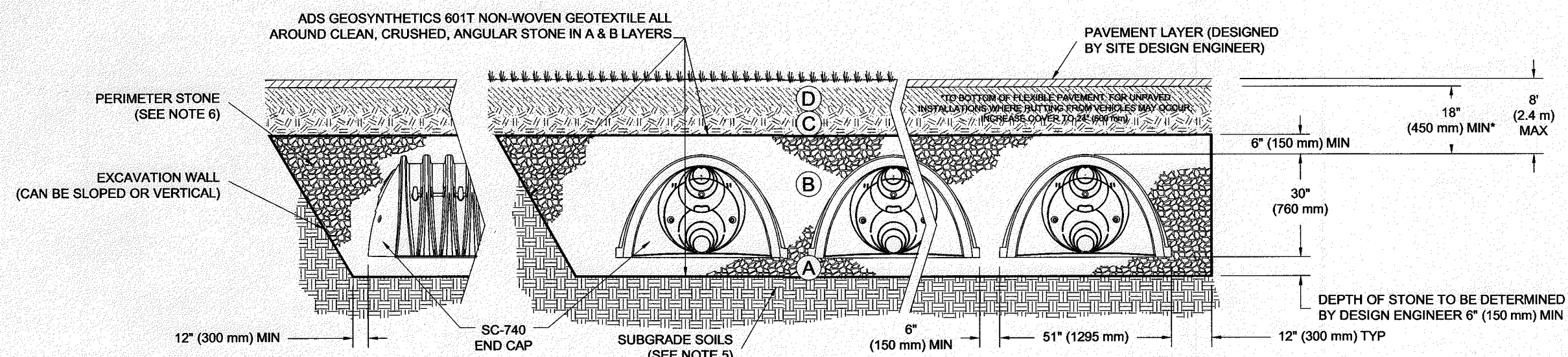
DETAIL SHEET 1 OF 4
SHEET 9 OF 12

W & SPARGES ENGINEERS
189 NORTH MAIN STREET
SUITE 101
MIDDLETON, MA 01949
PHONE: (978) 539-8088
FAX: (978) 539-8200
WSENGINEERS.COM

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

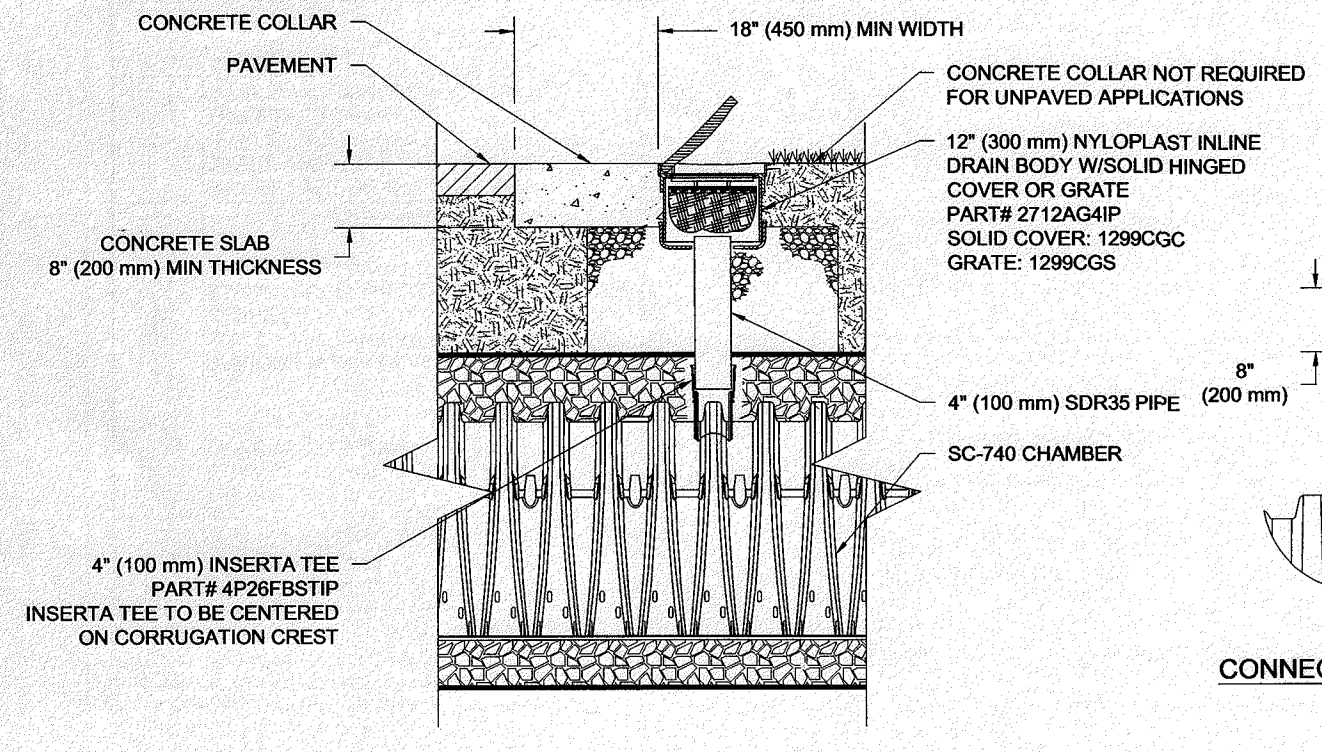
| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|---|---|--|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | N/A | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER. | AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (91 kN). |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ³ |

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTOR EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

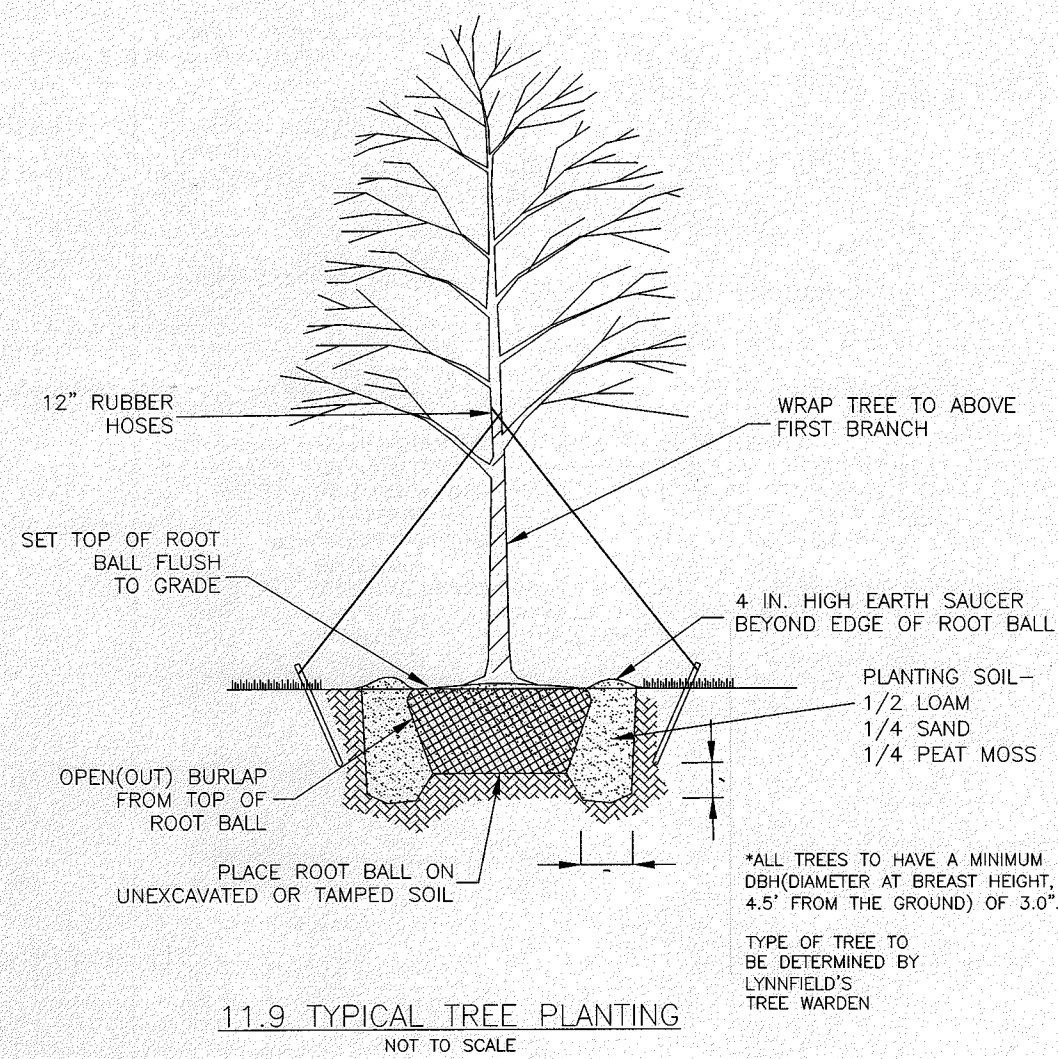


- NOTES:**
- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2622 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION
(NOT TO SCALE)



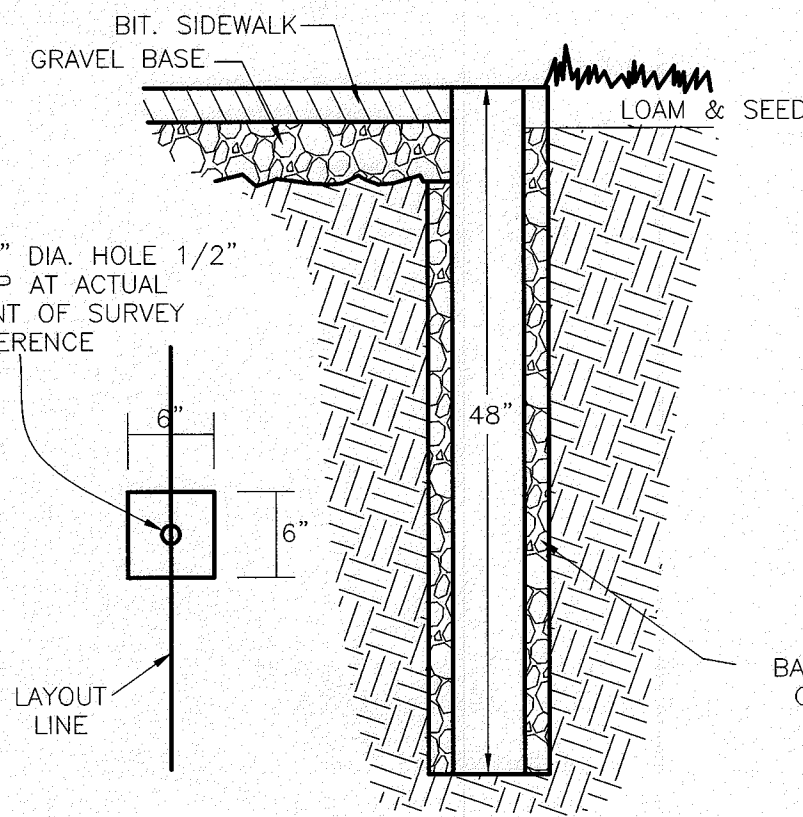
INSPECTION PORT
(NOT TO SCALE)



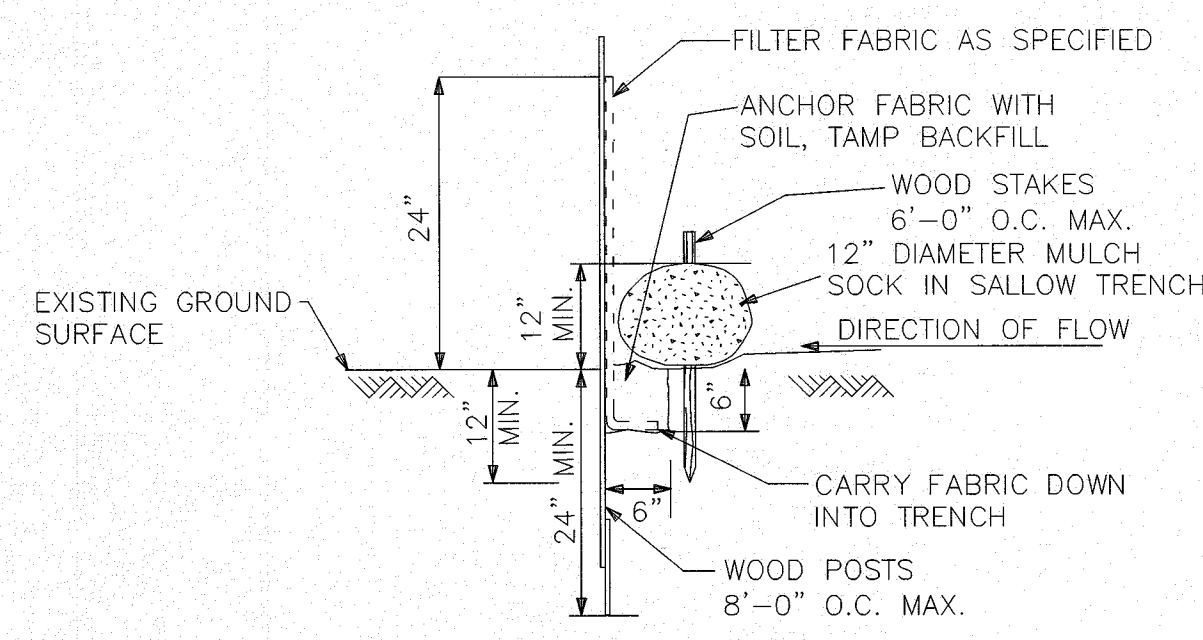
PROPOSED STREET TREES TO BE APPROVED BY THE TOWN OF LYNNFIELD TREE WARDEN.
 ALL TREES TO HAVE A MINIMUM DBH (DIAMETER AT BREAST HEIGHT) OF 3".
 TYPE OF TREE TO BE DETERMINED BY LYNNFIELD'S TREE WARDEN.
 THERE ARE TO BE THREE STREET TREES PER LOT.

STORMTECH INSTALLATION NOTES FOR ROOF TOP RUNOFF:

- NO CONSTRUCTION EQUIPMENT TO BE DRIVEN OVER BOTTOM OF CHAMBER EXCAVATION.
- EXCAVATION TO BE FREE OF SILT AND SHALL BE INSPECTED BY DESIGN ENGINEER.
- CARE SHALL BE TAKEN TO PROTECT THE STONE FROM SILT AND OTHER CONTAMINANTS UNTIL THE INSTALLATION IS COMPLETE.
- BASE STONE WITH CHAMBERS AND FILTER FABRIC TO BE INSPECTED BY DESIGN ENGINEER PRIOR TO BACKFILL.
- PHOTOGRAPHS OF EACH STEP OF THE INSTALLATION TO BE PROVIDED AFTER THE INSTALLATION IS COMPLETE.

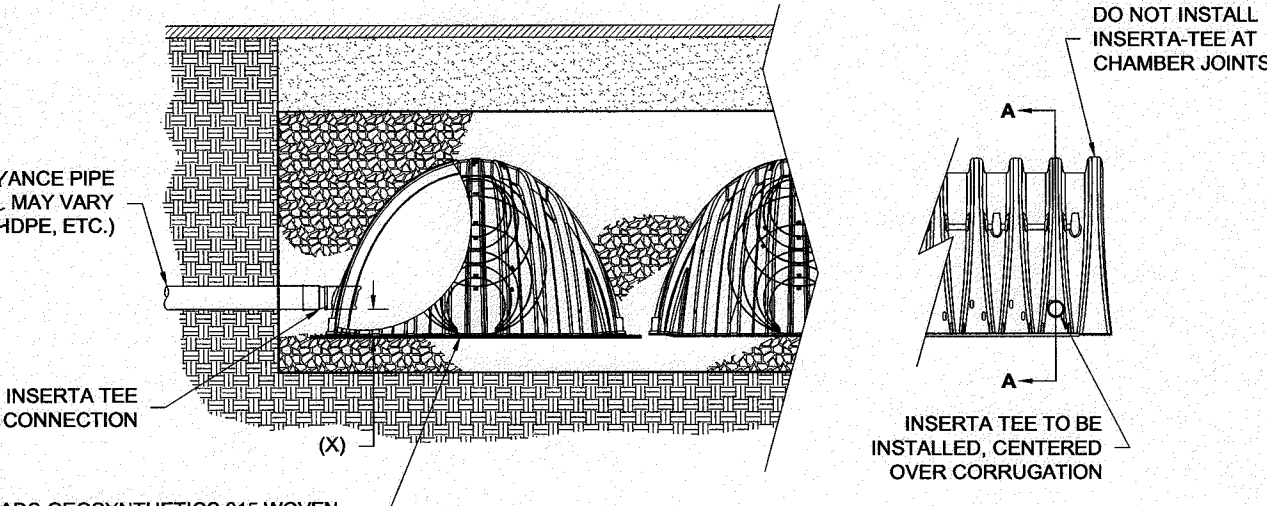


GRANITE BOUND DETAIL
(NOT TO SCALE)



SILTFENCE WITH MULCH SOCK DETAIL
(NOT TO SCALE)

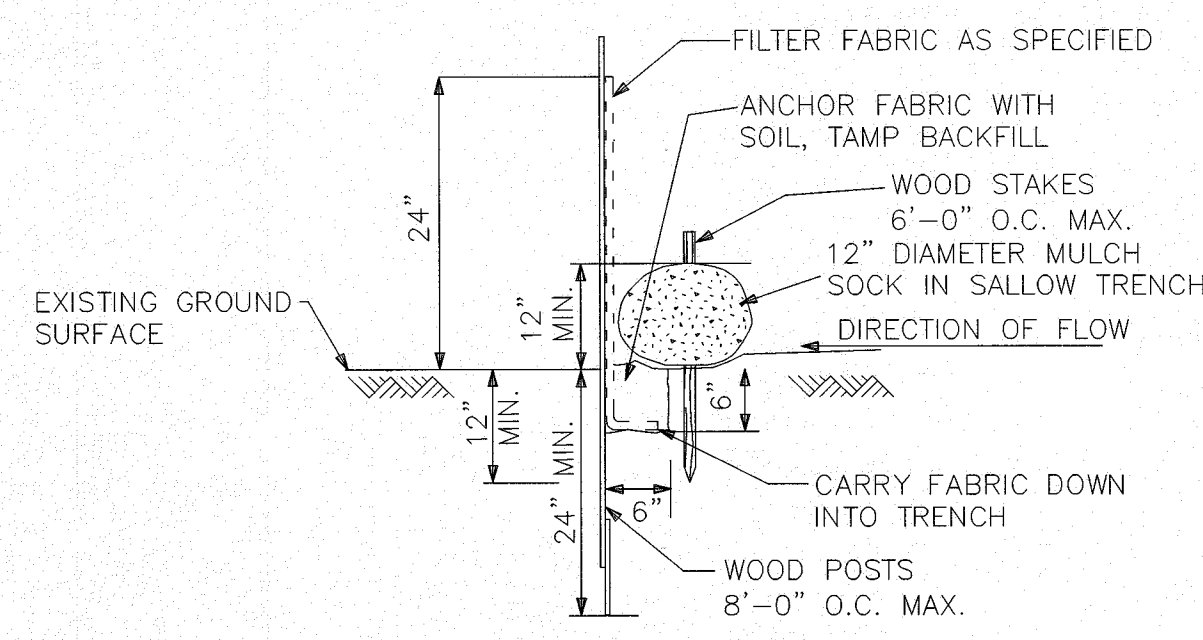
STORMTECH SC-740 TECHNICAL SPECIFICATIONS
(NOT TO SCALE)



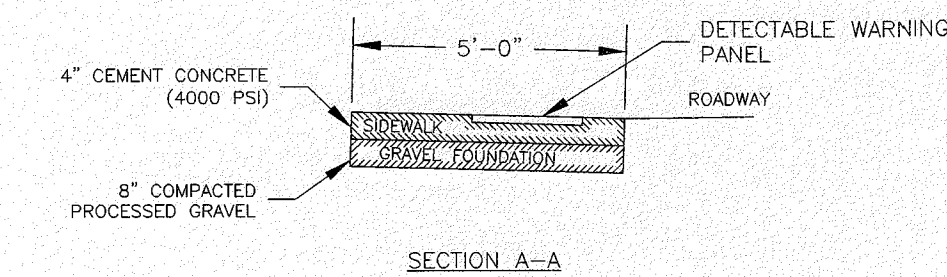
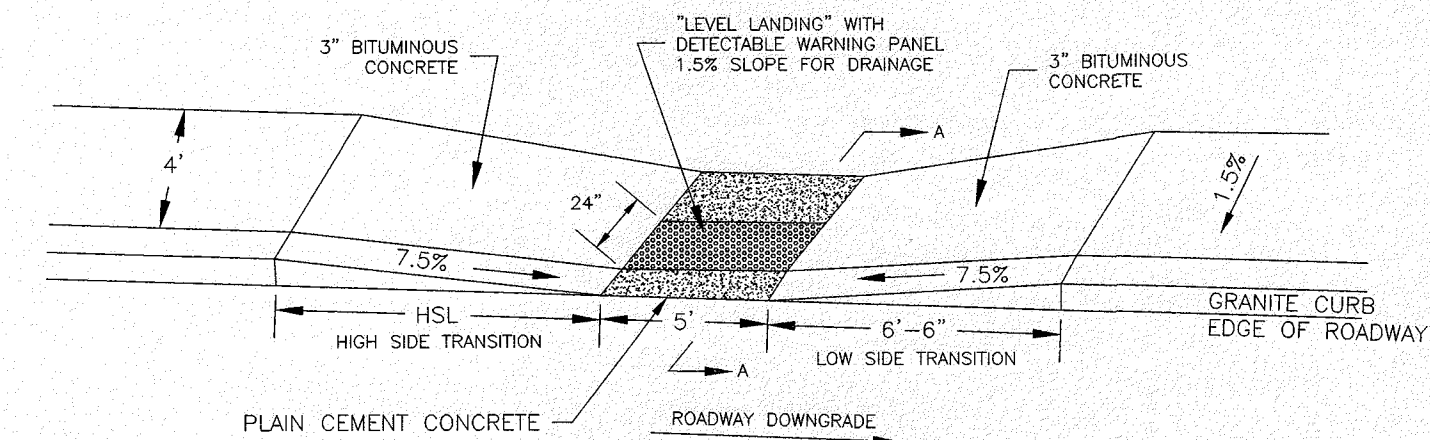
| PART # | STUB | A | B | C |
|-----------------------------|--------------|----------------|----------------|--------------|
| SC740EPE01T / SC740EPE06TPC | 6" (150 mm) | 10.9" (277 mm) | 18.5" (470 mm) | — |
| SC740EPE06B / SC740EPE08BPC | 6" (150 mm) | 12.2" (310 mm) | 16.5" (419 mm) | 0.5" (13 mm) |
| SC740EPE08T / SC740EPE08TPC | 8" (200 mm) | 12.2" (310 mm) | 16.5" (419 mm) | — |
| SC740EPE08B / SC740EPE08BPC | 8" (200 mm) | 12.2" (310 mm) | 14.5" (368 mm) | 0.6" (15 mm) |
| SC740EPE10T / SC740EPE10TPC | 10" (250 mm) | 13.4" (340 mm) | 14.5" (368 mm) | 0.7" (18 mm) |
| SC740EPE10B / SC740EPE10BPC | 10" (250 mm) | 13.4" (340 mm) | 12.5" (318 mm) | — |
| SC740EPE12T / SC740EPE12TPC | 12" (300 mm) | 14.7" (373 mm) | 12.5" (318 mm) | — |
| SC740EPE12B / SC740EPE12BPC | 12" (300 mm) | 14.7" (373 mm) | — | 1.2" (30 mm) |
| SC740EPE15T / SC740EPE15TPC | 15" (375 mm) | 18.4" (467 mm) | 9.0" (229 mm) | — |
| SC740EPE15B / SC740EPE15BPC | 15" (375 mm) | 18.4" (467 mm) | — | 1.3" (33 mm) |
| SC740EPE18T / SC740EPE18TPC | 18" (450 mm) | 19.7" (500 mm) | 5.0" (127 mm) | — |
| SC740EPE18B / SC740EPE18BPC | 18" (450 mm) | 19.7" (500 mm) | — | 1.6" (41 mm) |
| SC740EPE24B | 24" (600 mm) | 18.5" (470 mm) | — | 0.1" (3 mm) |

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.
 * FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.
 NOTE: ALL DIMENSIONS ARE NOMINAL.

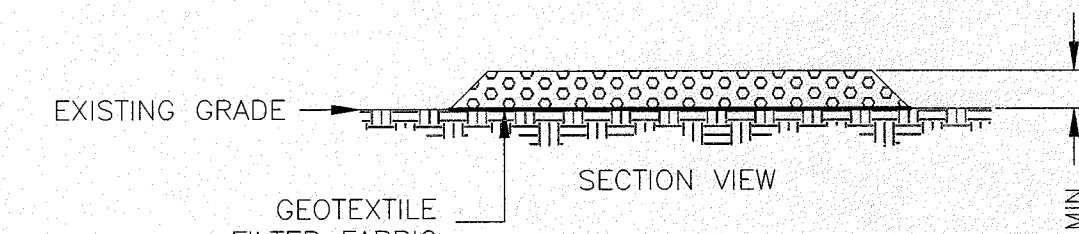
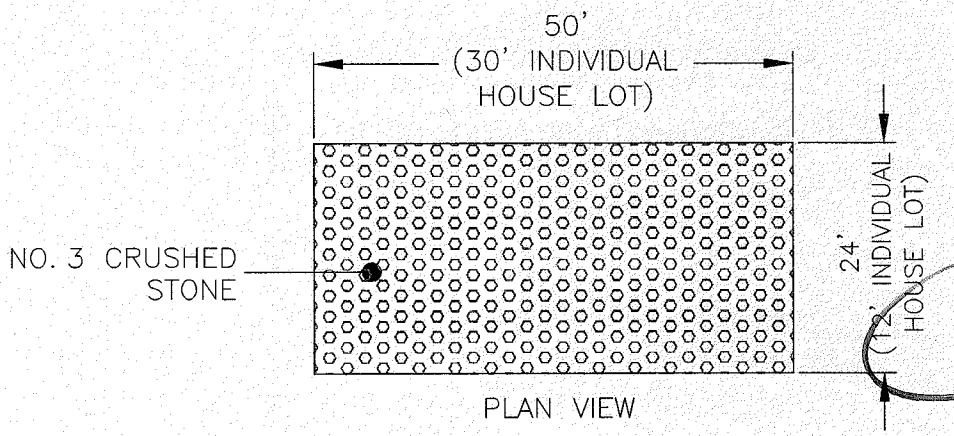
INSERTA TEE DETAIL
(NOT TO SCALE)



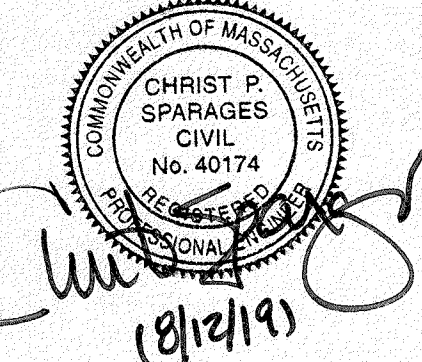
SILTFENCE WITH MULCH SOCK DETAIL
(NOT TO SCALE)



- NOTES:**
- HSL = HIGH SIDE TRANSITION LENGTH (SEE M/E 107.9.0)
 - TOLERANCE FOR CONSTRUCTION IS +/- 0.5%
 - DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9", A HEIGHT OF NOMINAL 0.2" AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35" AND SHALL BE BRICK RED.
 - ALL WHEEL-CHAIR RAMPS SHALL COMPLY WITH JULY 1, 1994 ADA STANDARDS FOR ACCESSIBLE DESIGN OR MOST RECENT EDITION, MASS HIGHWAY ENGINEERING DIRECTIVE M/E 107.2.1R AND M/E 107.6.5R, AND SECTION 701 OF THE 1995 MASS HIGHWAY STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (OR MOST RECENT EDITION).



TRACKING PAD
(NOT TO SCALE)



CLERKS CERTIFICATION ON THE PLAN
 DATE: _____

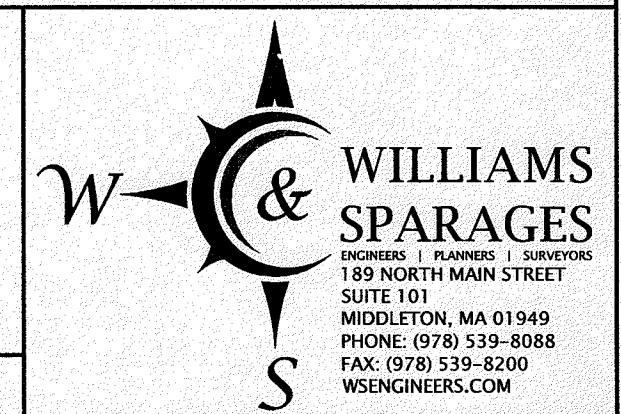
I, _____ CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

| NO. | TOWN COMMENTS | DATE |
|-----|---------------------------|-----------|
| 6 | | |
| 5 | TOWN COMMENTS | 8/12/2019 |
| 4 | TOWN COMMENTS | 7/29/2019 |
| 3 | TOWN COMMENTS/PEER REVIEW | 7/2/2019 |
| 2 | TOWN COMMENTS/PEER REVIEW | 6/10/2019 |
| 1 | TOWN COMMENTS/PEER REVIEW | 5/9/2019 |

DEFINITIVE CONSTRUCTION DETAILS
TUTTLE LANE
LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
 HPI MASS RE DEVELOPMENT, LLC
 23 STILES ROAD - SUITE 104
 SALEM, NH 03079
OWNER:
 SEE ABOVE
ASSESSOR'S REFERENCE:
 MAP 34 LOTS 2015, 2027, & 2055



| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |

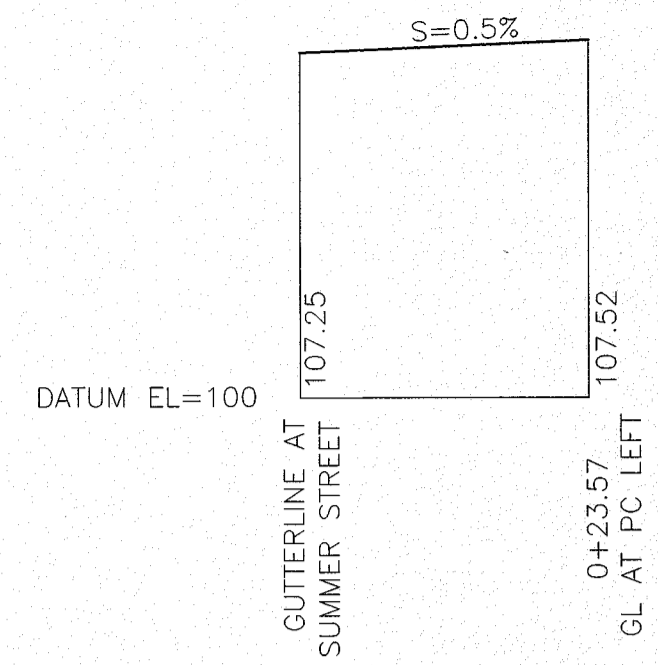
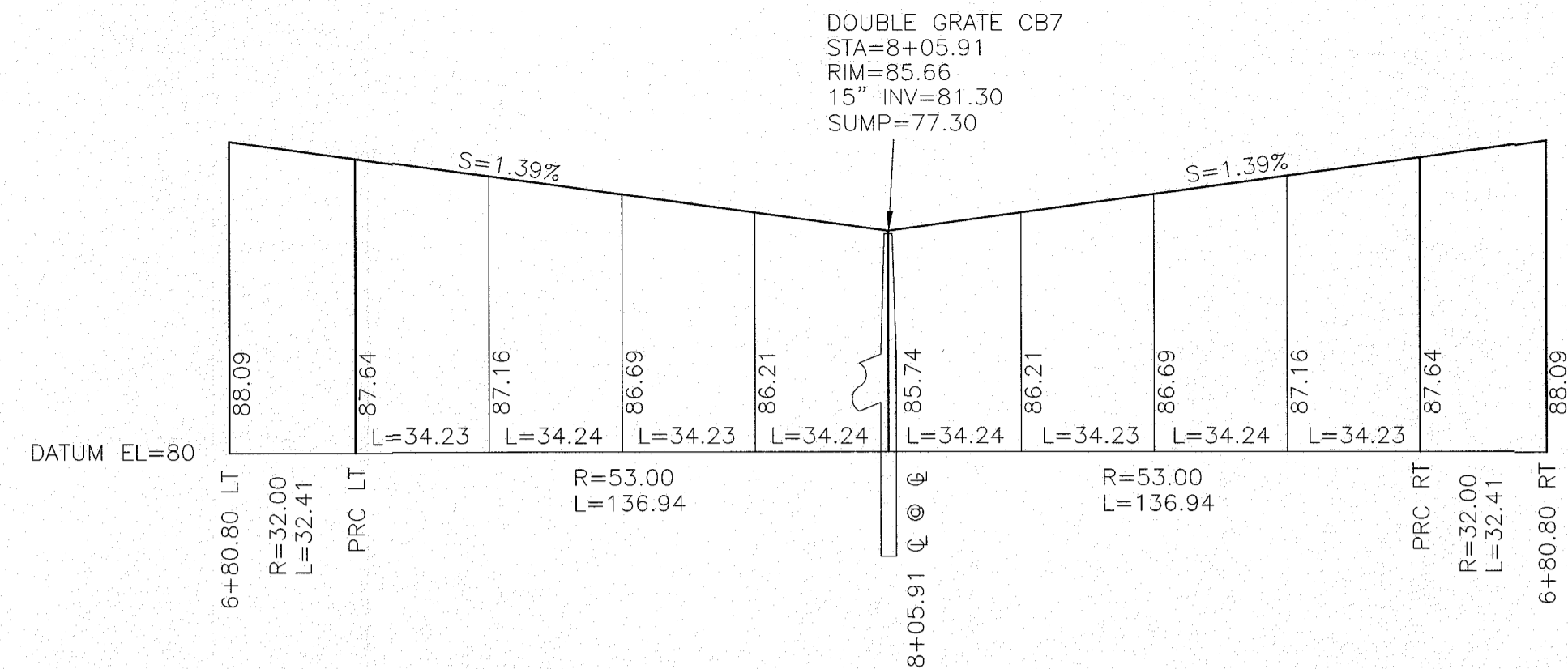
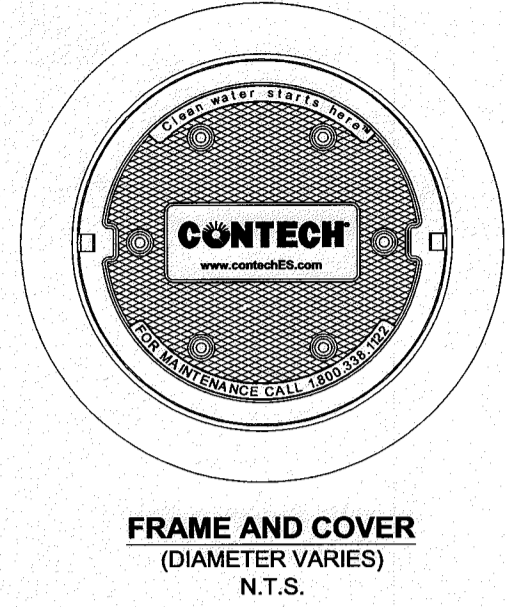
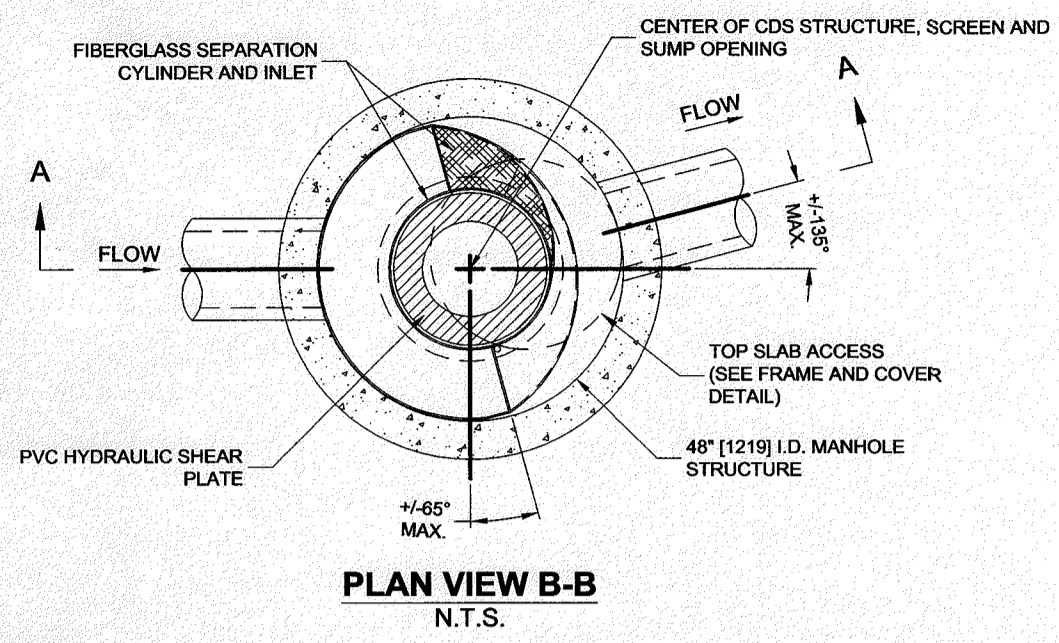
SCALE: AS SHOWN
 NOVEMBER 21, 2018

DETAIL SHEET 2 OF 4
 SHEET 10 OF 12

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

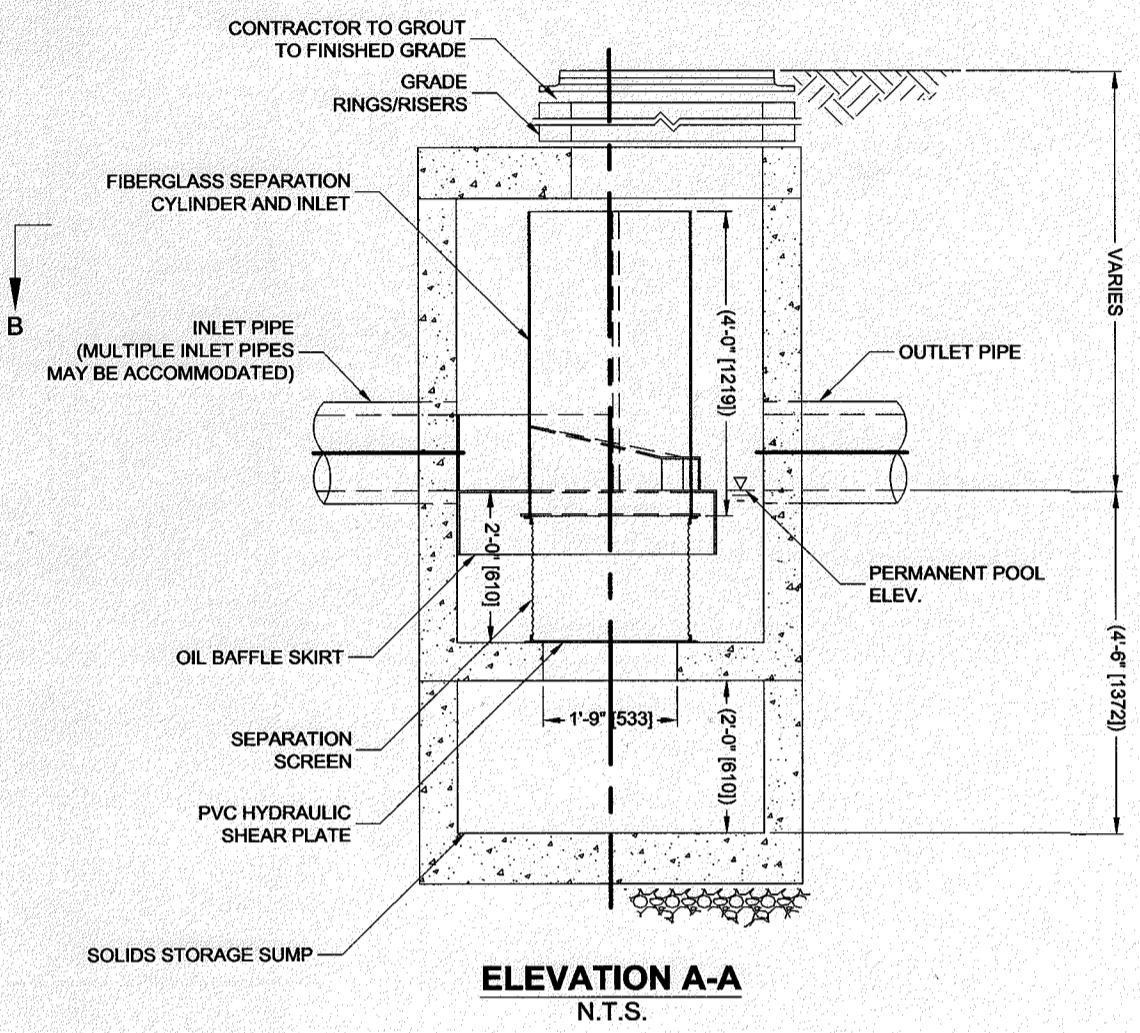
LYNNFIELD PLANNING BOARD



GUTTERLINE PROFILE CUL-DE-SAC
SCALE: 1" = 40' (HOR.)
1" = 4' (VER.)

GUTTERLINE PROFILE LEFT AT ENTRANCE
SCALE: 1" = 40' (HOR.)
1" = 4' (VER.)

GUTTERLINE PROFILE RIGHT AT ENTRANCE
SCALE: 1" = 40' (HOR.)
1" = 4' (VER.)

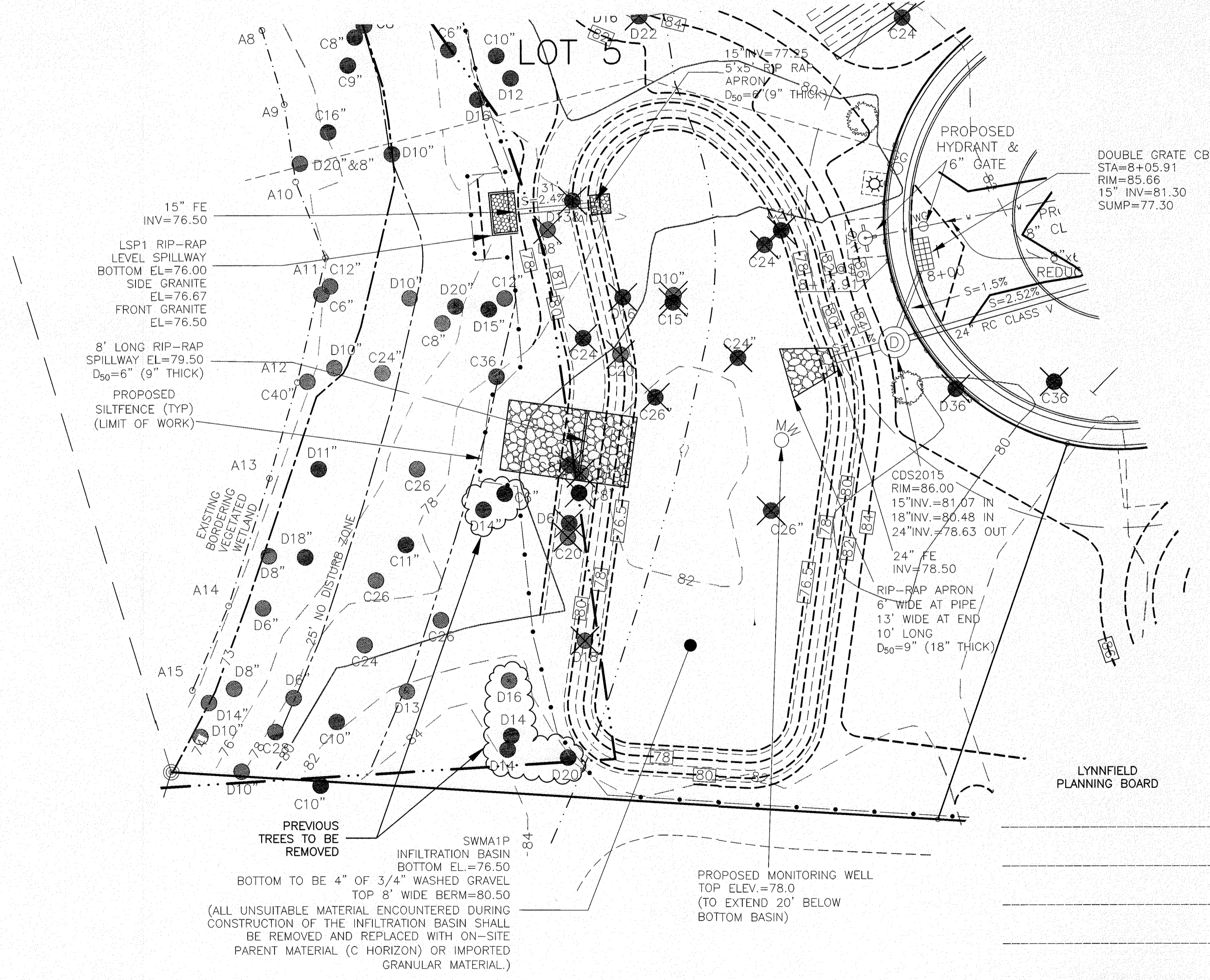


CDS2015-4-C
INLINE CDS
(NOT TO SCALE)

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

PROPRIETARY TREATMENT DEVICE:

IF THE APPLICANT WISHES TO SUBSTITUTE ANOTHER STORMWATER TREATMENT UNIT FOR THE CDS UNIT SPECIFIED ON THE PLANS THEN HE MUST SUBMIT A REQUEST FOR THIS SUBSTITUTION TO THE LYNNFIELD TOWN ENGINEER IN WRITING, INCLUDING ALL NECESSARY CALCULATIONS FOR THE SIZING OF THE UNIT, NJCAT DATA FOR THE UNIT AND A STATEMENT BY A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER THAT THE UNIT IS EQUIVALENT TO THE CDS UNIT SHOWN ON THE PLANS. THE PROPOSED ALTERNATIVE MUST HAVE THE SAME (OR MORE) HYDROCARBON STORAGE, SEDIMENT STORAGE, STORMWATER TREATMENT FLOW AND TREATMENT EFFICIENCY AS THE CDS UNIT SHOWN. THE TOWN ENGINEER SHALL ACT ON THE REQUEST AND THE REQUEST MUST BE APPROVED PRIOR TO THE SHIPMENT OF THE ALTERNATIVE TREATMENT UNIT TO THE SITE.



INFILTRATION BASIN DETAIL
SCALE: 1" = 20' (HOR.)

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

OWNERS:
 JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
 333 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32543 PAGE 434
 ASSESSOR'S REFERENCE: MAP 34 LOT 2015
 STEPHEN C. WALLACE & LAURA SINGLETON WALLACE
 339 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 32841 PAGE 114
 ASSESSOR'S REFERENCE: MAP 34 LOT 2027
 JANE W. COONROD
 349 SUMMER STREET
 LYNNFIELD, MA 01940
 DEED REFERENCE: BOOK 6466 PAGE 334
 ASSESSOR'S REFERENCE: MAP 34 LOT 2055

CLERKS CERTIFICATION ON THE PLAN
DATE: _____

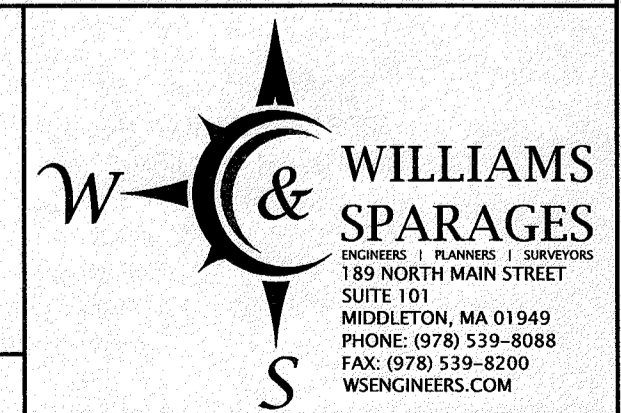
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TOWN CLERK

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DEFINITIVE CONSTRUCTION DETAILS
TUTTLE LANE
 LYNNFIELD, MA

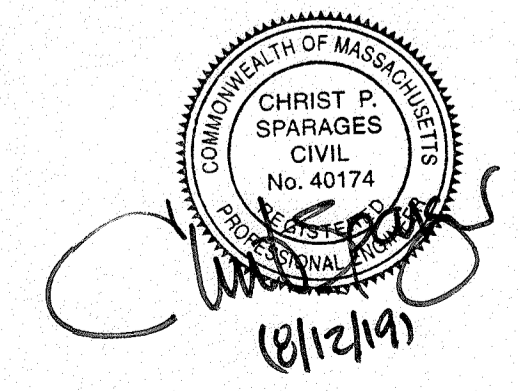
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 MAP 34 LOTS 2015, 2027, & 2055



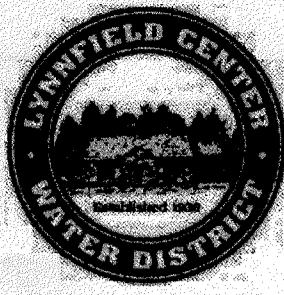
SCALE: AS SHOWN
MARCH 26, 2019

DETAIL SHEET 3 OF 4
SHEET 11 OF 12

| TREE LEGEND | | TREE IDENTIFICATION | |
|-------------|----------------------|---------------------|---|
| TREE CODE | TREE SPECIES | TREE CODE → C24 ← | TREE DIAMETER AT BREAST HEIGHT (DBH) (INCHES) |
| | | | TREE LOCATION |
| C | CONIFER (SOFTWOOD) | | TREE TO BE REMOVED |
| D | DECIDUOUS (HARDWOOD) | | |



| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
| HEARING DATE | |
| PLAN APPROVED | |
| PLAN SIGNED | |



Lynnfield Center Water District
83 Phillips Road
Lynnfield, Massachusetts 01940

Installation of New Mains

All mains, fire hydrants, valves, and fittings are to be American made

No work is to be commenced until all appropriate permits are obtained, required bond is set, and all fees are paid

New water main:

All new water main is to be American made Class 52 pipe or better

All new water main is to be zinc coated cement lined ductile iron pipe

Installation of new water main is to be bedded in sand or suitable material

All new water main must be inspected by the Lynnfield Center Water District during installation

There must be a minimum of 5 feet of cover to prevent freezing

Upon completion, new mains must be chlorinated and pressure tested to AWWA standards and a bacteria test completed by a state certified lab

Valves:

All new valves must be AWWA approved and American made

All new valves must be open left resilient wedge gate valves

New valves must have the appropriate gate box set to grade

Hydrants:

All new hydrants must be Kennedy K81D factory painted with appropriate color scheme (Des Moines Green Upper Barrel with White Caps and Bonnet) - open left

All new hydrants must have a minimum of a 5.5 foot bury and be set to the appropriate grade with hydrant extension(s)

All new hydrants must be installed using the appropriate thrust block and the base of the hydrant is to be backfilled with crushed stone or other suitable material to allow for proper drainage

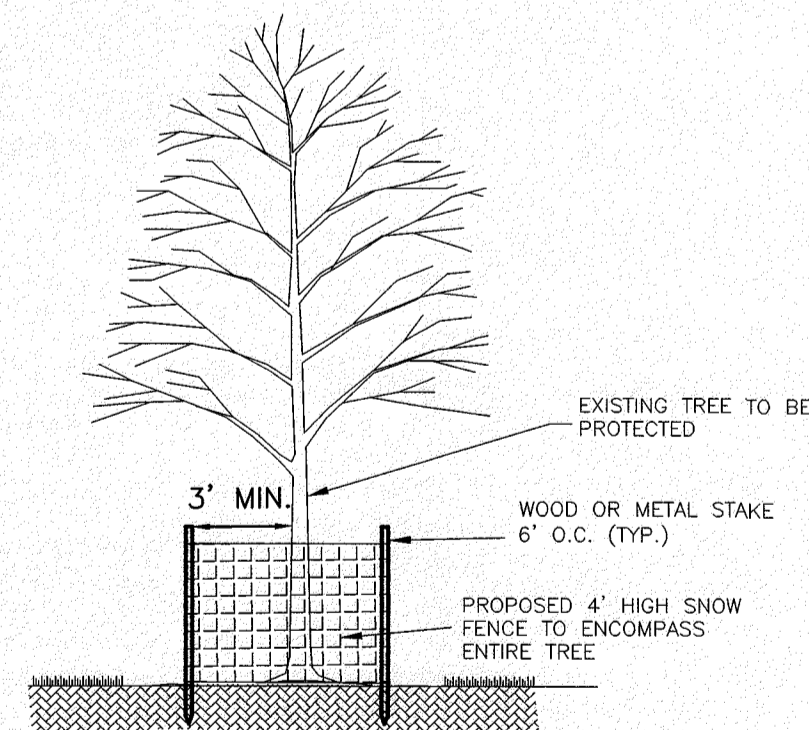
Mechanical joints:

All mechanical joints must be restrained using a mechanical joint restraint kit (eg. Mega lug or equivalent)

New taps:

All taps must be installed by a District approved contractor

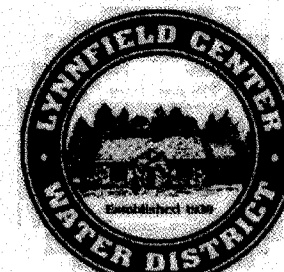
All taps are to be installed using a stainless steel tapping sleeve and gate



ARBORIST NOTES FOR PROTECTION OF EXISTING 62 AND 64 INCH SILVER MAPLE TREES:

IRECOMMENDATIONS OF THE TOWN'S ARBORIST CONSULTANT IN A LETTER DATED APRIL 16, 2019 SHALL BE FOLLOWED FOR WORK NEAR THE EXISTING 62 INCH AND 64 INCH SILVER MAPLE TREES.

- ALL EXISTING ASPHALT AND STONE WITHIN 20 FEET OF THE TREE SHALL BE REMOVED BY HAND. IF POSSIBLE, IF EQUIPMENT MUST BE USED, IT WOULD BE PREFERABLE TO LIGHTLY SCRAPE UP THE EXISTING DRIVEWAYS AND STONE WITHIN THIS ZONE.
- ONCE EXISTING ASPHALT AND STONE IS REMOVED THE NEXT STEP IS TO TOP DRESS THE ENTIRE ROOT ZONE WITH WOOD CHIPS. THE WOOD CHIPS SHOULD BE SPREAD AT A DEPTH OF 2 TO 3 INCHES FROM THE TRUNK OF THE TREE AND OUT TO THE DRIP LINE.
- NEXT, INSTALL ORANGE SNOW FENCING AS A VISUAL BARRIER TO PREVENT MECHANICAL INJURIES TO THE TRUNKS OF THE TREES.
- THIS FENCED OFF AREA SHOULD BE LOOKED AT AS A NO ZONE FOR STACKING MATERIALS, CLEANING EQUIPMENT AND PARKING.
- AN APPLICATION OF LIQUID COMPOST-MYCORRHIZAL SHALL BE MADE TO THE TWO TREES PRIOR TO CONSTRUCTION ACTIVITIES AND AFTER THE PROJECT IS FINISHED. THESE APPLICATIONS SHALL BE MADE BY AN ISA CERTIFIED ARBORIST AND WILL BE COORDINATED WITH THE TOWN OF LYNNFIELD TREE WARDEN.



Lynnfield Center Water District
83 Phillips Road
Lynnfield, Massachusetts 01940

New Service Installation Information

All new service taps must be done with a minimum of 1" double banded stainless saddle tap with an open-left corporation valve. Service lines from the water mains to the curb stop will be 1" Type K Copper

All new services installed are to use 200 p.s.i. blue P.V.C. plastic pipe and have a minimum size of 1"

All new services are required to have RedHed or American-made equivalent lead free open-left curb stop without a drain with an Eries Box with Stainless Steel Rod (curb stop box with rod) connected and set to grade. All compression connections made to the curb stop are required to have a stainless steel insert.

All services are to be ONE CONTINUOUS PIECE and have no fittings between the curb stop and kornerhorn (meter bar)

All new services are required to have a minimum of 5 feet of cover to prevent freezing and must be sleeved if within 10 feet of any septic system

All installations are to be inspected by the District prior to being back filled

All services must be backfilled with sand or other suitable material

All services must be sleeved when installed under the footing and when installed through a foundation wall and cannot be within 3 feet of electrical panels

All service lines must extend a MINIMUM OF 6 FEET beyond all walls and floors. Prior to a kornerhorn (meter bar) being installed the service line must be restrained or staked off of the wall in a vertical manner as not to kink or impede the flow of water. DO NOT CUT SERVICE LINE! Once the line has been secured the District will work with the plumber to make appropriate connections.

All new services will have meters installed within a kornerhorn assembly and will have a dual cartridge check valve included in the assembly installed by the District. This requires a POTABLE WATER EXPANSION TANK to be installed after the meter to protect household plumbing from thermal expansion. All cross connections must be inspected and eliminated before the water will be turned on.

Connections to household plumbing after the kornerhorn assembly are to be made with a minimum 1" copper. Connections on both sides of the kornerhorn are compression and require no soldering or gluing.

No electrical connections or grounding can be made to service lines

All meters and kornerhorn assemblies must remain accessible for service and change outs

Kornerhorns and meters will not be installed until all fees and applicable service charges have been paid

DRINKING WATER DISTRIBUTION SYSTEM NOTES:

- EXISTING SERVICE CONNECTIONS TO HOMES 333, 339 AND 343 SUMMER STREET TO BE TERMINATED AND TURNED OFF AT THE EXISTING CORPORATION STOP.
- THE HYDRANT EXISTING ON SUMMER STREET THAT IS SLATED TO BE RELOCATED WILL REQUIRE AN EASEMENT IF MOVED OUTSIDE OF THE PUBLIC ROADWAY.
- A MINIMUM OF 36 INCHES OF CLEARANCE FOR ALL WATER PIPES IS TO BE MAINTAINED TO OTHER UTILITIES.
- SERVICES BOXES ARE TO BE "ERIE" STYLE WITH WELDED STAINLESS STEEL ROD AND PLUG STYLE COVER.

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

WILLIAMS & SPARAGES LLC

OWNERS:

JANET M. TOBIN & ANNMARIE PENDOLA, TRUSTEES OF THE DEGIOVANNI FAMILY TRUST
333 SUMMER STREET
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MAP 34 LOT 2015

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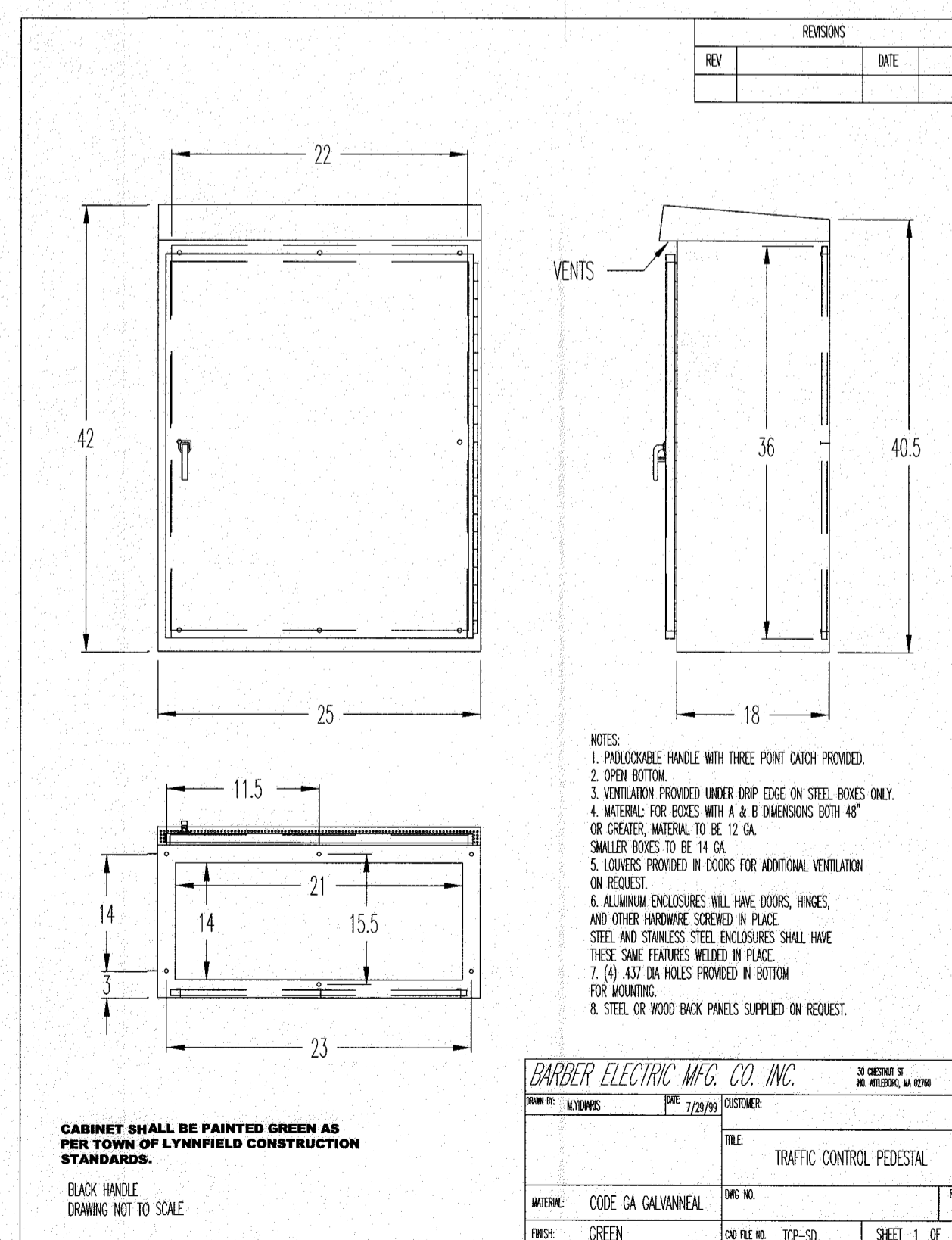
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CLERKS CERTIFICATION ON THE PLAN

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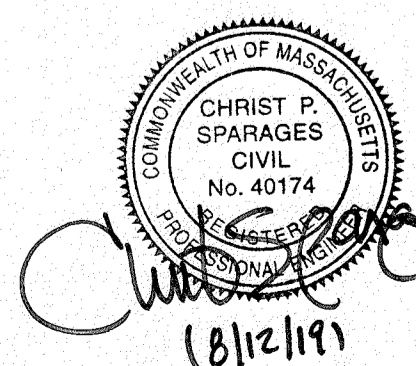
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TOWN CLERK



LYNNFIELD PLANNING BOARD

DATE: _____



| ACTION | DATE: |
|-------------------|-------|
| APPLICATION FILED | |
| FINAL PLAN FILED | |
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| PLAN APPROVED | |
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DEFINITIVE CONSTRUCTION DETAILS

TUTTLE LANE

LYNNFIELD, MA

APPLICANT/SUBDIVIDER:
HPI MASS RE DEVELOPMENT, LLC
23 STILES ROAD - SUITE 104
SALEM, NH 03079

OWNER:
SEE ABOVE

ASSESSOR'S REFERENCE:
MAP 34 LOTS 2015, 2027, & 2055

SCALE: NONE
JULY 2, 2019



DETAIL SHEET 4 OF 4
SHEET 12 OF 12