

Legend of Symbols & Abbreviations

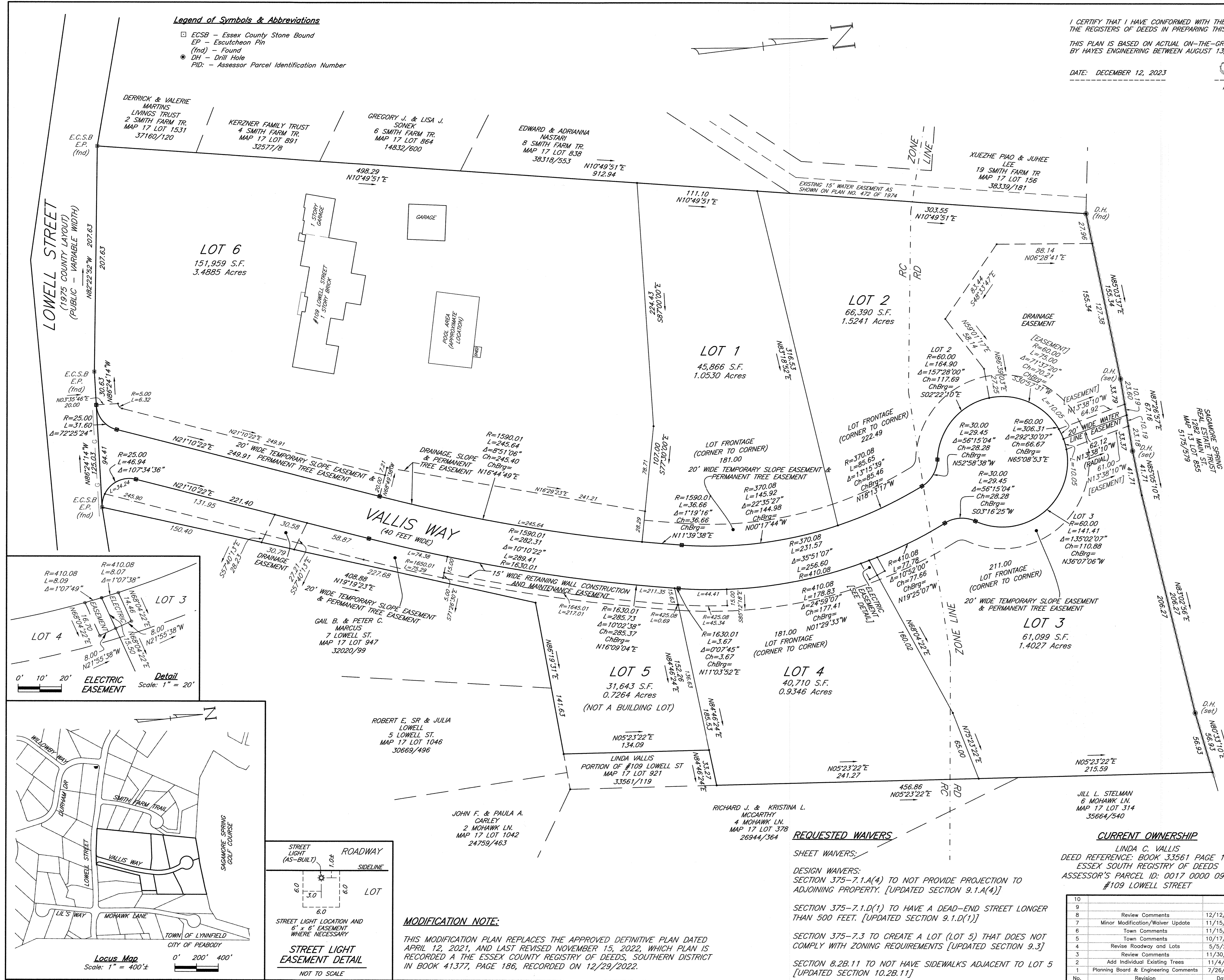
- E.C.S.B. - Essex County Stone Bound
- EP - Escutcheon Pin
- (fnd) - Found
- D.H. - Drill Hole
- PID: - Assessor Parcel Identification Number

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

THIS PLAN IS BASED ON ACTUAL ON-THE-GROUND FIELD SURVEYS CONDUCTED BY HAYES ENGINEERING BETWEEN AUGUST 13, 2004 AND OCTOBER 3, 2022.

DATE: DECEMBER 12, 2023

Robert P. Hayes
PROFESSIONAL LAND SURVEYOR



CLERK'S CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

ZONING DISTRICT: SINGLE RESIDENCE C & D

RESIDENCE C
MINIMUM LOT AREA = 40,000 S.F.
MINIMUM LOT FRONTAGE = 180 FEET
MINIMUM LOT WIDTH = 144 FEET (80% OF FRONTAGE)
MAXIMUM PERMITTED LOT COVERAGE = 35%
LOT SHAPE = NOT > 20' FROM PERPENDICULAR FOR A DISTANCE OF AT LEAST 30% OF THE FRONTAGE (54 FEET)
PERMITTED LOT COVERAGE = 35%
MINIMUM SETBACKS:
FRONT = 40 FEET
SIDES = 25 FEET
REAR = 20 FEET

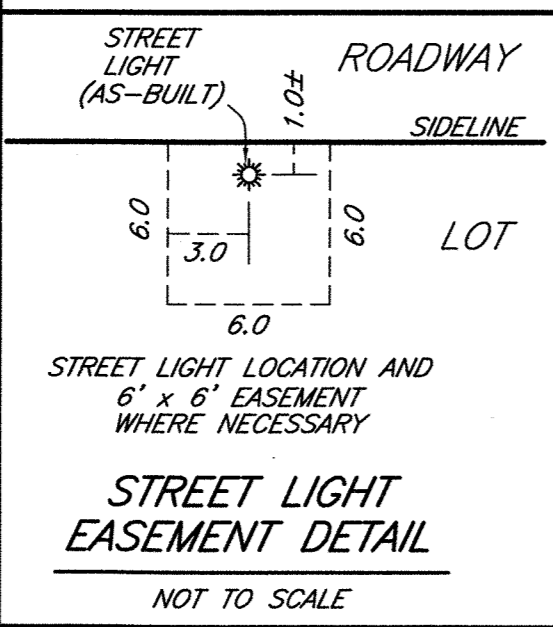
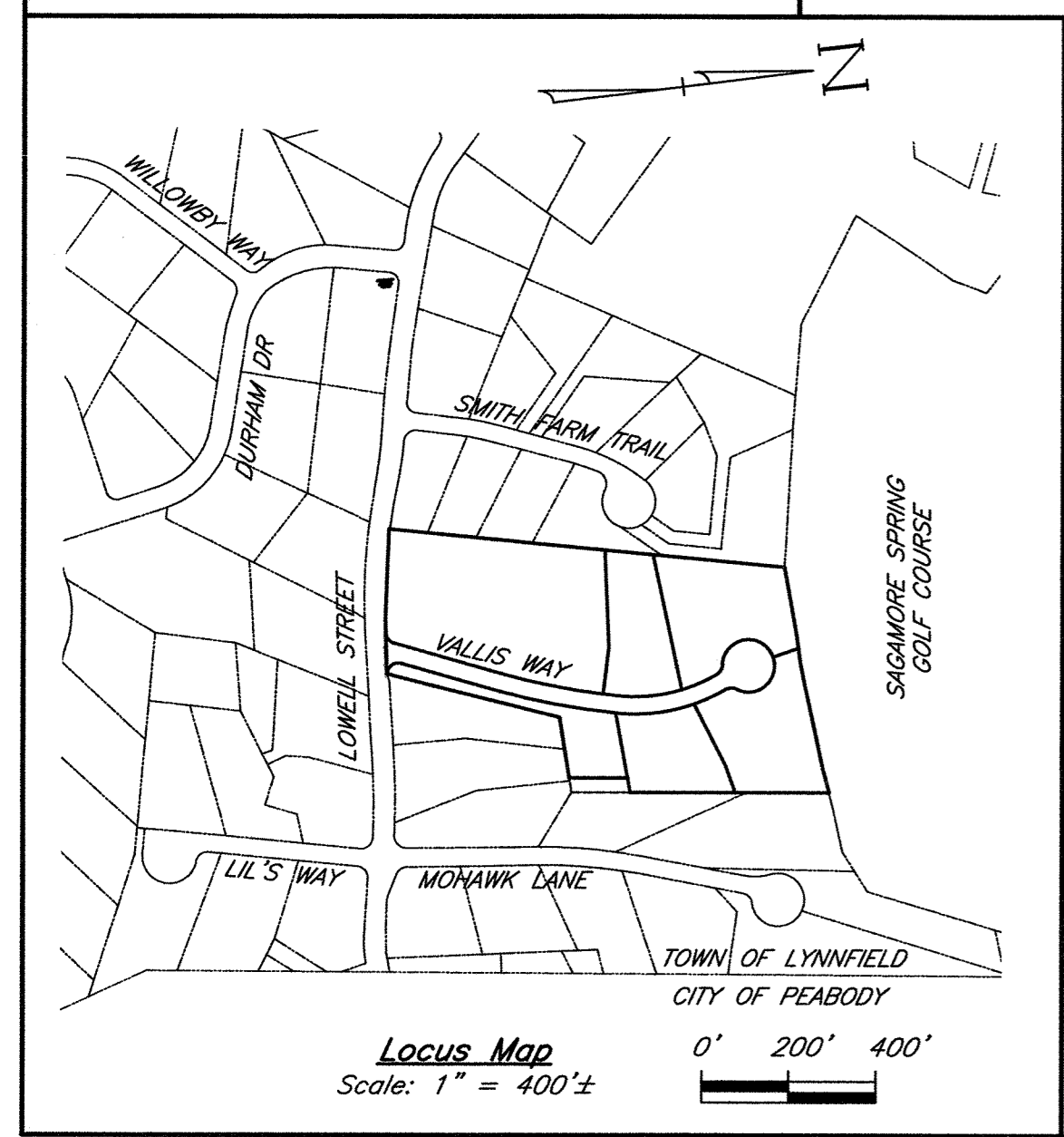
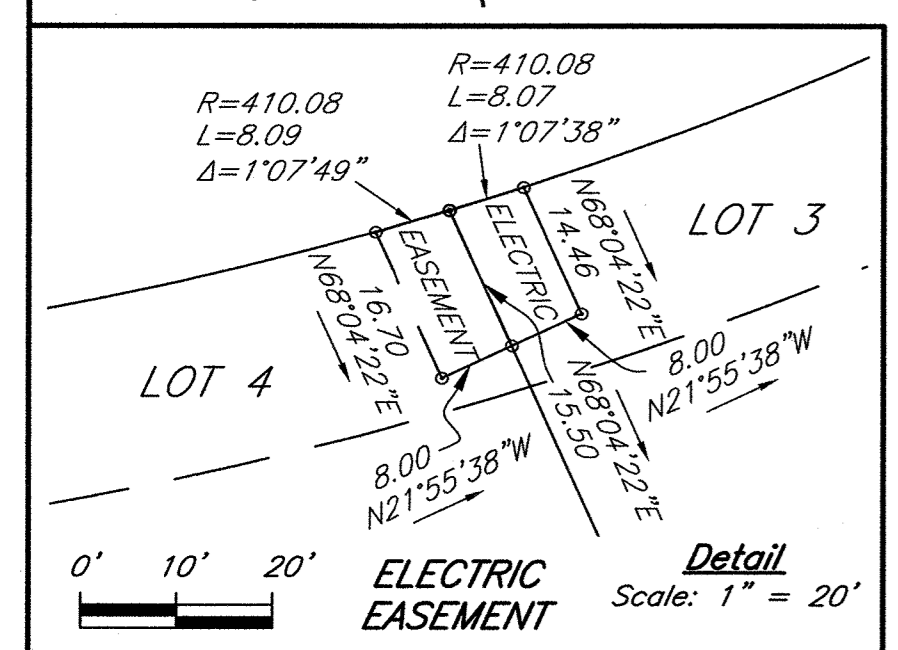
RESIDENCE D
MINIMUM LOT AREA = 60,000 S.F.
MINIMUM LOT FRONTAGE = 210 FEET (CORNER TO CORNER)
MINIMUM LOT WIDTH = 168 FEET (80% FRONTAGE)
MAXIMUM PERMITTED LOT COVERAGE = 35%
LOT SHAPE = NOT > 20' FROM PERPENDICULAR FOR A DISTANCE OF AT LEAST 30% OF THE FRONTAGE (63 FEET)
PERMITTED LOT COVERAGE = 35%
MINIMUM SETBACKS:
FRONT = 40 FEET (60 FEET FROM STREET CENTERLINE)
SIDE = 30 FEET
REAR = 20 FEET

DATUM IS NAVD88

NOTE: PROPERTY IS LOCATED WITHIN THE GROUNDWATER PROTECTION DISTRICT.

MAXIMUM IMPERVIOUS = 15%

— DENOTES STONE BOUND TO BE SET BY OWNER UNLESS OTHERWISE NOTED. (TO BE SUPERVISED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR)



MODIFICATION NOTE:
THIS MODIFICATION PLAN REPLACES THE APPROVED DEFINITIVE PLAN DATED APRIL 12, 2021, AND LAST REVISED NOVEMBER 15, 2022, WHICH PLAN IS RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT IN BOOK 41377, PAGE 186, RECORDED ON 12/29/2022.

REQUESTED WAIVERS

- SHEET WAIVERS:**
- DESIGN WAIVERS: SECTION 375-7.1.A(4) TO NOT PROVIDE PROJECTION TO ADJOINING PROPERTY. [UPDATED SECTION 9.1.A(4)]
 - SECTION 375-7.1.D(1) TO HAVE A DEAD-END STREET LONGER THAN 500 FEET. [UPDATED SECTION 9.1.D(1)]
 - SECTION 375-7.3 TO CREATE A LOT (LOT 5) THAT DOES NOT COMPLY WITH ZONING REQUIREMENTS [UPDATED SECTION 9.3]
 - SECTION 8.2B.11 TO NOT HAVE SIDEWALKS ADJACENT TO LOT 5 [UPDATED SECTION 10.2B.11]

CURRENT OWNERSHIP

LINDA C. VALLIS
DEED REFERENCE: BOOK 33561 PAGE 119
ESSEX SOUTH REGISTRY OF DEEDS
ASSESSOR'S PARCEL ID: 0017 0000 0921
#109 LOWELL STREET

No.	Revision	Date
10		
9		
8	Review Comments	12/12/2023
7	Minor Modification/Waiver Update	11/15/2023
6	Town Comments	11/15/2022
5	Town Comments	10/17/2022
4	Revise Roadway and Lots	5/5/2022
3	Review Comments	11/30/2021
2	Add Individual Existing Trees	11/4/2021
1	Planning Board & Engineering Comments	7/26/2021

LOTGING PLAN

Seal: *Robert P. Hayes*

Scale: 1" = 40'

MODIFICATION PLAN
VALLIS WAY
LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940

APPLICANT: PAUL CAGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529

Engineer: Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hayeseng.com

Scale: 1" = 40' April 12, 2021

LYNNFIELD PLANNING BOARD

Application Filed: _____
Final Plan Filed: _____
Hearing Date: _____
Plan Approved: _____
Plan Signed: _____

DEFINITIVE SHEET 1 OF 1
SET SHEET 1 OF 10

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Hayes
 HAYES ENGINEERING, INC.

TREE ABBREVIATIONS:
 O - OAK
 M - MAPLE
 P - PINE
 H - HICKORY
 C - CEDAR
 RC - RED CHERRY

CURRENT OWNERSHIP

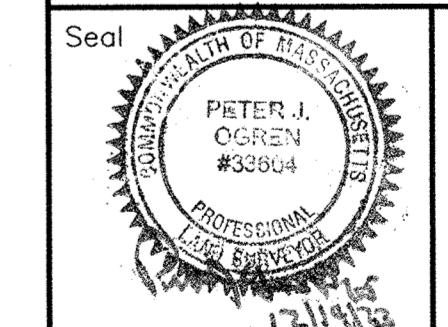
LINDA C. VALLIS
 DEED REFERENCE: BOOK 33561 PAGE 119 ESSEX SOUTH
 REGISTRY OF DEEDS
 ASSESSOR'S PARCEL ID: 0017-0000-0921
 #109 LOWELL STREET

REQUESTED WAIVERS

SHEET WAIVERS:
 SECTION 375-6.4.B.(1) TO SHOW ONE FOOT CONTOURS IN PLACE OF TWO FOOT CONTOURS. [UPDATED SECTION 6.4.B.(1)]
 SECTION 375-6.4.B.(4) TO NOT SHOW SLOPES STEEPER THAN 15%. [UPDATED SECTION 6.4.B.(4)]

NO WETLANDS ARE LOCATED WITHIN 150 FEET OF THE PROPOSED SUBDIVISION OR WITHIN 150 FEET OF ANY WORK BASED ON AN EXAMINATION OF THE CONDITIONS ON THE GROUND BY A QUALIFIED WETLAND SCIENTIST.

EXISTING CONDITIONS PLAN



Hayes
 0' 20' 40' 80' 120'

**MODIFICATION PLAN
 VALLIS WAY
 LYNNFIELD, MASS.**

ASSESSORS MAP 17 LOT 921
 OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940
 APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529
 Engineer: Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hayeseng.com

Scale: 1"=40' April 12, 2021

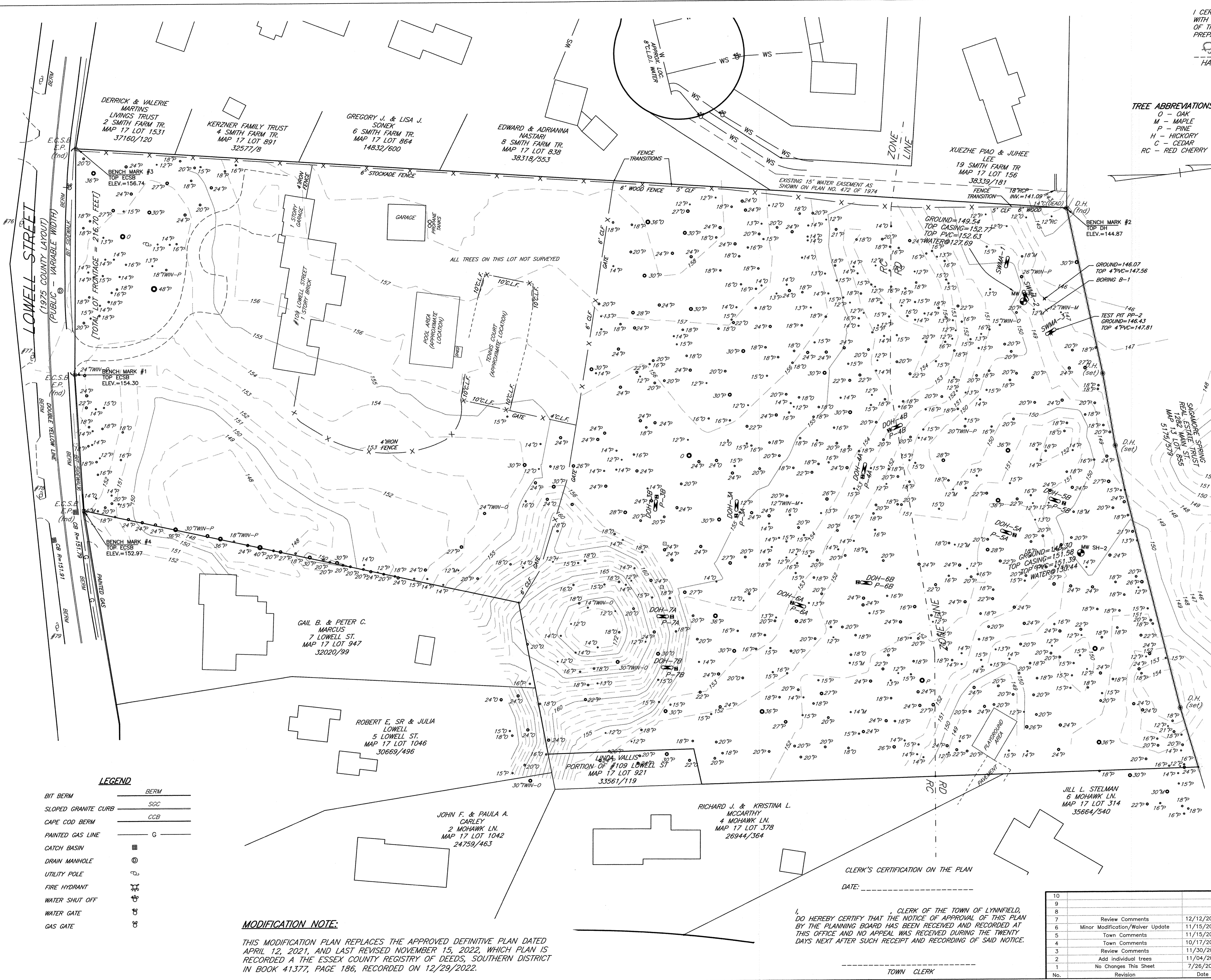
LYNNFIELD PLANNING BOARD	Application Filed: _____
	Final Plan Filed: _____
	Hearing Date: _____
	Plan Approved: _____
	Plan Signed: _____
EXISTING SHEET 1 OF 1	
SET SHEET 2 OF 10	

CLERK'S CERTIFICATION ON THE PLAN
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I, _____, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

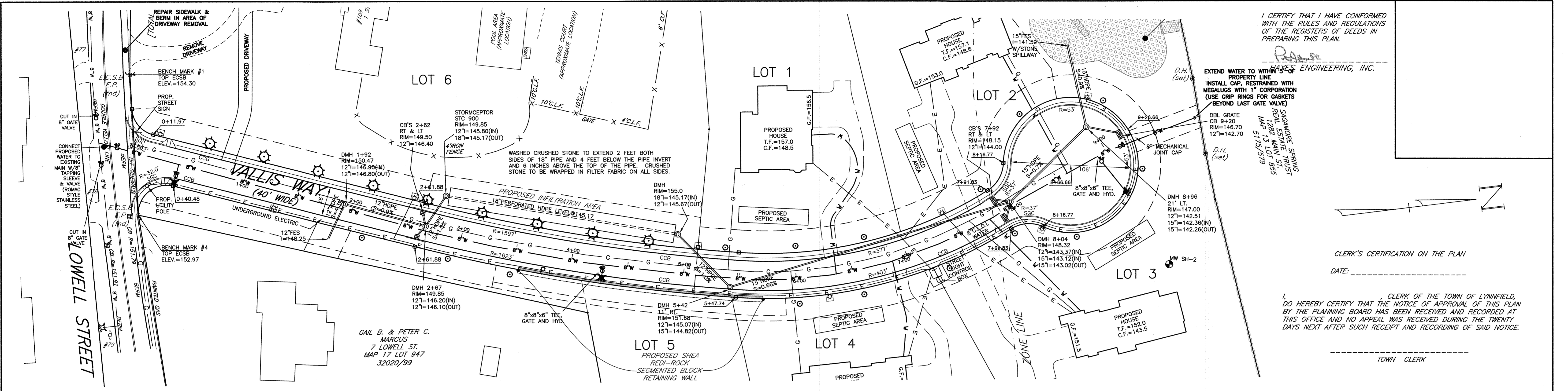
10		
9		
8		
7	Review Comments	12/12/2023
6	Minor Modification/Waiver Update	11/15/2023
5	Town Comments	11/15/2022
4	Review Comments	10/17/2022
3	Review Comments	11/30/2021
2	Add individual trees	11/04/2021
1	No Changes This Sheet	7/26/2021
No.	Revision	Date



MODIFICATION NOTE:
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LEGEND

BIT BERM	BERM
SLOPED GRANITE CURB	SGC
CAPE COD BERM	CCB
PAINTED GAS LINE	G
CATCH BASIN	
DRAIN MANHOLE	
UTILITY POLE	
FIRE HYDRANT	
WATER SHUT OFF	
WATER GATE	
GAS GATE	



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

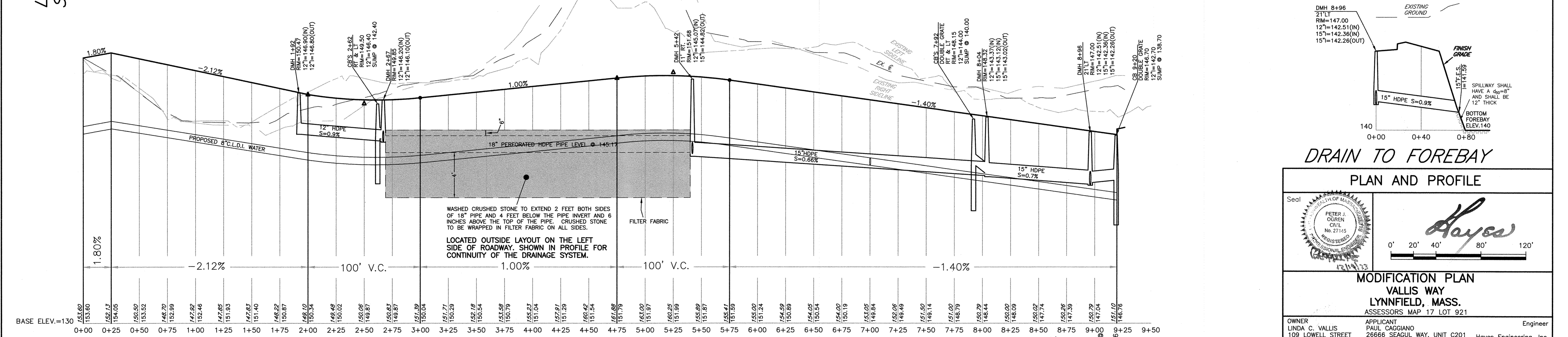
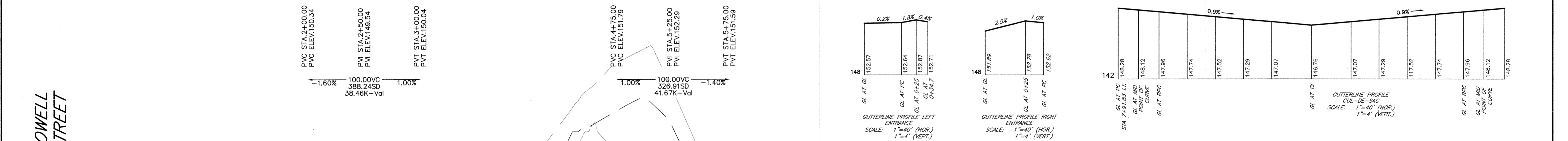
HAYES ENGINEERING, INC.

EXTEND WATER TO WITHIN 5' OF PROPERTY LINE
INSTALL CAP, RESTRAINED WITH MEGALUGS WITH 1" COPORATION (USE GRIP RINGS FOR GASKETS BEYOND LAST GATE VALVE)
DBL GRATE CB 9+20 RIM=146.70 12"=142.70
8" MECHANICAL JOINT CAP
DMH 8+96 21" LT. RIM=147.00 12"=142.51 15"=142.36(N) 15"=142.26(OUT)

CLERK'S CERTIFICATION ON THE PLAN
DATE: _____

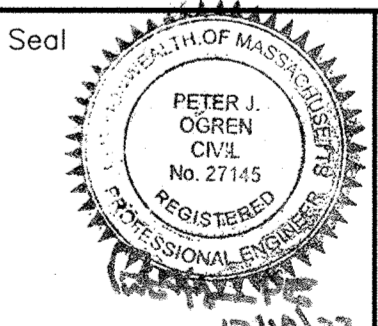
DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK



DRAIN TO FOREBAY

PLAN AND PROFILE



HAYES
0' 20' 40' 80' 120'

**MODIFICATION PLAN
VALLIS WAY
LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921**

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940
APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529
Engineer: Peter J. Ogren, Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hayeseng.com

Scale: 1"=40' April 12, 2021

10		
9		
8	Review Comments	12/12/2023
7	Minor Modification/Minor Update	11/15/2023
6	Town Comments	11/15/2022
5	Town Comments	10/17/2022
4	Review Comments	11/30/2021
3	No Changes this Sheet	11/4/2021
2	Planning Board & Engineering Comments	7/26/2021
1	Revision	Date

Application Filed: _____
Final Plan Filed: _____
Hearing Date: _____
Plan Approved: _____
Plan Signed: _____

PROFILE SHEET 1 OF 1
SET SHEET 3 OF 10

MODIFICATION NOTE:

THIS MODIFICATION PLAN REPLACES THE APPROVED DEFINITIVE PLAN DATED APRIL 12, 2021, AND LAST REVISED NOVEMBER 15, 2022, WHICH PLAN IS RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT IN BOOK 41377, PAGE 186, RECORDED ON 12/29/2022.

NOTE: THIS PLAN IS BASED UPON AN ACTUAL SURVEY BY HAYES ENGINEERING, INC. BETWEEN DECEMBER 16, 1982 AND NOVEMBER 19, 2016.

SEE A PLAN ENTITLED "PLAN OF LAND #109 LOWELL STREET" BY HAYES ENGINEERING, INC. DATED JULY 22, 2020.

NO WETLANDS ARE LOCATED WITHIN 150 FEET OF THE PROPOSED SUBDIVISION OR WITHIN 150 FEET OF ANY WORK BASED ON AN EXAMINATION OF THE CONDITIONS ON THE GROUND BY A QUALIFIED WETLAND SCIENTIST.

PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT, THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL EVALUATOR TO PERFORM SOIL TEST PITS WITNESSED BY THE TOWN ENGINEER IN THE LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AS DETERMINED BY THE TOWN ENGINEER AND THE DESIGN SHALL BE PERFORMED SET FORTH IN THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH GROUNDWATER TABLE (IF THE STATIC DESIGN METHOD IS USED OR 4 FEET IF ANY OF THE DYNAMIC DESIGN METHODS ARE USED). A MONITORING WELL SHALL BE PROVIDED FOR EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE, WHEN THE INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PAVING IS COMPLETE. AN AS-BUILT PLAN OF THE SYSTEM SHALL BE PROVIDED WHEN THE INSTALLATION IS COMPLETED.

REQUESTED WAIVERS

- DESIGN WAIVERS:
- 375-8.3.B.(1) TO USE PERFORATED HDPE PIPE FOR DRAINAGE WITHIN INFILTRATION AREA (STATION 2+65± TO 5+35±). [UPDATED SECTION 10.3.B.(1)]
 - 375-8.3.B.(1) TO USE DOUBLE WALL, SOLID, HDPE PIPE WITH WATER TIGHT CONNECTORS FOR DRAINAGE PIPING. [UPDATED SECTION 10.3.B.(1)]
 - SECTION 8.2.B.11 TO NOT HAVE SIDEWALKS ADJACENT TO LOT 5 [UPDATED SECTION 10.2.B.11]

VALLIS WAY

SEE INSET (BELOW)
FOR WATER
IMPROVEMENTS AT
DURHAM DRIVE

I CERTIFY THAT I HAVE CONFORMED
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS IN
PREPARING THIS PLAN.

HAYES ENGINEERING, INC.

NO WETLANDS ARE LOCATED WITHIN 150 FEET OF THE
PROPOSED SUBDIVISION OR WITHIN 150 FEET OF ANY
WORK BASED ON AN EXAMINATION OF THE CONDITIONS
ON THE GROUND BY A QUALIFIED WETLAND SCIENTIST.

NOTE: SEPTIC SYSTEM DESIGN CRITERIA AND SOIL
TESTING MUST BE WITNESSED AND APPROVED BY THE
BOARD OF HEALTH.

WATER SERVICES TO HOUSES TO BE 1".

MODIFICATION NOTE:

THIS MODIFICATION PLAN REPLACES THE APPROVED DEFINITIVE PLAN DATED
APRIL 12, 2021, AND LAST REVISED NOVEMBER 15, 2022, WHICH PLAN IS
RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT
IN BOOK 41377, PAGE 186, RECORDED ON 12/29/2022.

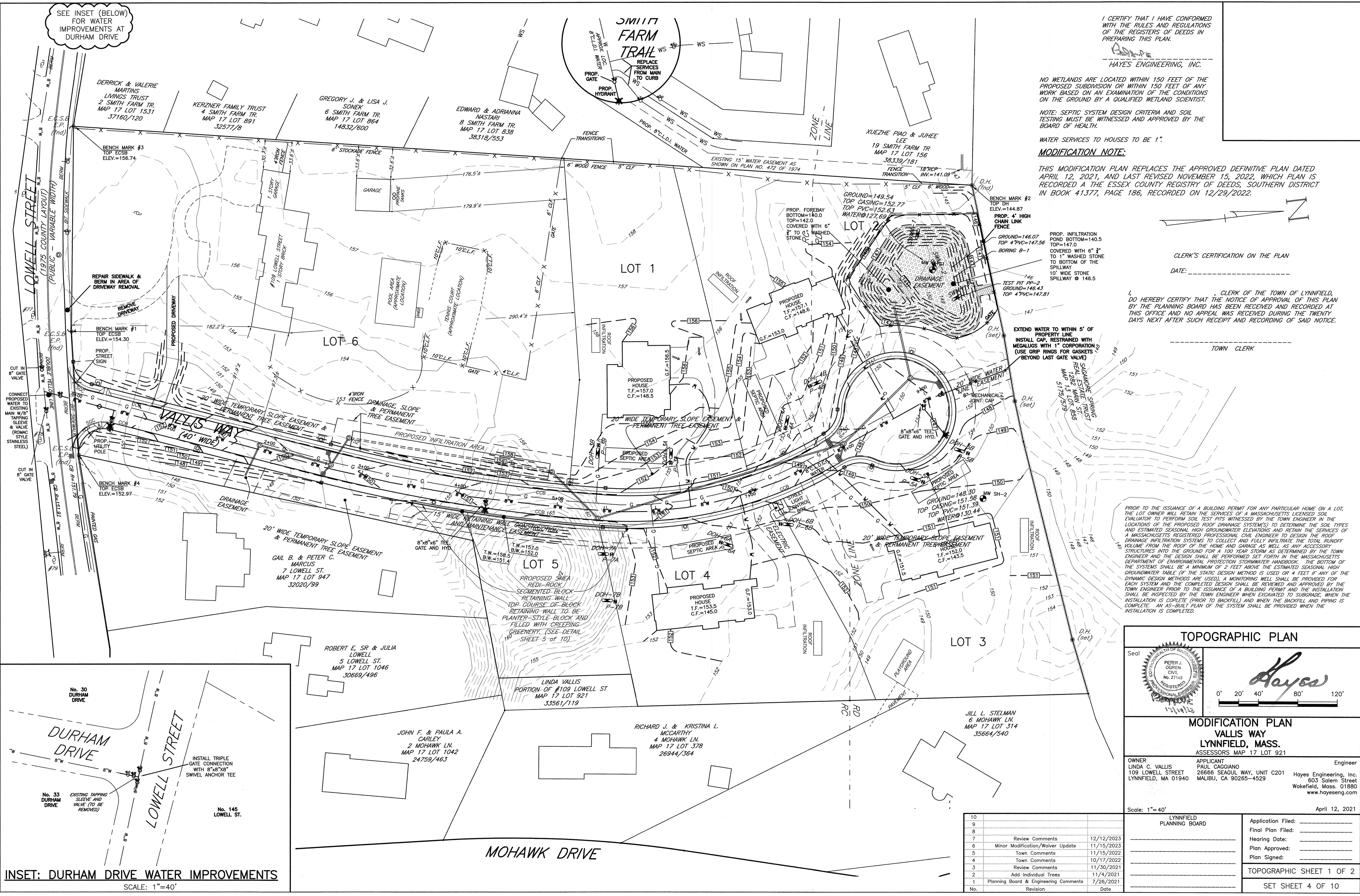
CLERK'S CERTIFICATION ON THE PLAN

DATE: _____

I, _____, CLERK OF THE TOWN OF LYNNFIELD,
DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN
BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT
THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ANY PARTICULAR HOME ON A LOT,
THE LOT OWNER WILL RETAIN THE SERVICES OF A MASSACHUSETTS LICENSED SOIL
EVALUATOR TO PERFORM SOIL TEST PITS WITNESSED BY THE TOWN ENGINEER IN THE
LOCATIONS OF THE PROPOSED ROOF DRAINAGE SYSTEM(S) TO DETERMINE THE SOIL TYPES
AND ESTIMATED SEASONAL HIGH GROUNDWATER ELEVATIONS AND RETAIN THE SERVICES OF
A MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER TO DESIGN THE ROOF
DRAINAGE INFILTRATION SYSTEMS TO COLLECT AND FULLY INFILTRATE THE TOTAL RUNOFF
VOLUME FROM THE ROOF OF THE HOME AND GARAGE AS WELL AS ANY ACCESSORY
STRUCTURES INTO THE GROUND FOR A 100 YEAR STORM AS DETERMINED BY THE TOWN
ENGINEER AND THE DESIGN SHALL BE PERFORMED SET FORTH IN THE MASSACHUSETTS
DEPARTMENT OF ENVIRONMENTAL PROTECTION STORMWATER HANDBOOK. THE BOTTOM OF
THE SYSTEMS SHALL BE A MINIMUM OF 2 FEET ABOVE THE ESTIMATED SEASONAL HIGH
GROUNDWATER TABLE (IF THE STATIC DESIGN METHOD IS USED OR 4 FEET IF ANY OF THE
DYNAMIC DESIGN METHODS ARE USED). A MONITORING WELL SHALL BE PROVIDED FOR
EACH SYSTEM AND THE COMPLETED DESIGN SHALL BE REVIEWED AND APPROVED BY THE
TOWN ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT AND THE INSTALLATION
SHALL BE INSPECTED BY THE TOWN ENGINEER WHEN EXCAVATED TO SUBGRADE. WHEN THE
INSTALLATION IS COMPLETE (PRIOR TO BACKFILL) AND WHEN THE BACKFILL AND PIPING IS
COMPLETE, AN AS-BUILT PLAN OF THE SYSTEM SHALL BE PROVIDED WHEN THE
INSTALLATION IS COMPLETED.



TOPOGRAPHIC PLAN

Seal:

HAYES

0' 20' 40' 80' 120'

MODIFICATION PLAN
VALLIS WAY
LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940

APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529

Engineer: Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hayeseng.com

Scale: 1" = 40'

April 12, 2021

10		
9		
8		
7	Review Comments	12/12/2023
6	Minor Modification/Waiver Update	11/15/2023
5	Town Comments	11/15/2022
4	Town Comments	10/17/2022
3	Review Comments	11/30/2021
2	Add Individual Trees	11/4/2021
1	Planning Board & Engineering Comments	7/26/2021
No.	Revision	Date

LYNNFIELD PLANNING BOARD

Application Filed: _____

Final Plan Filed: _____

Hearing Date: _____

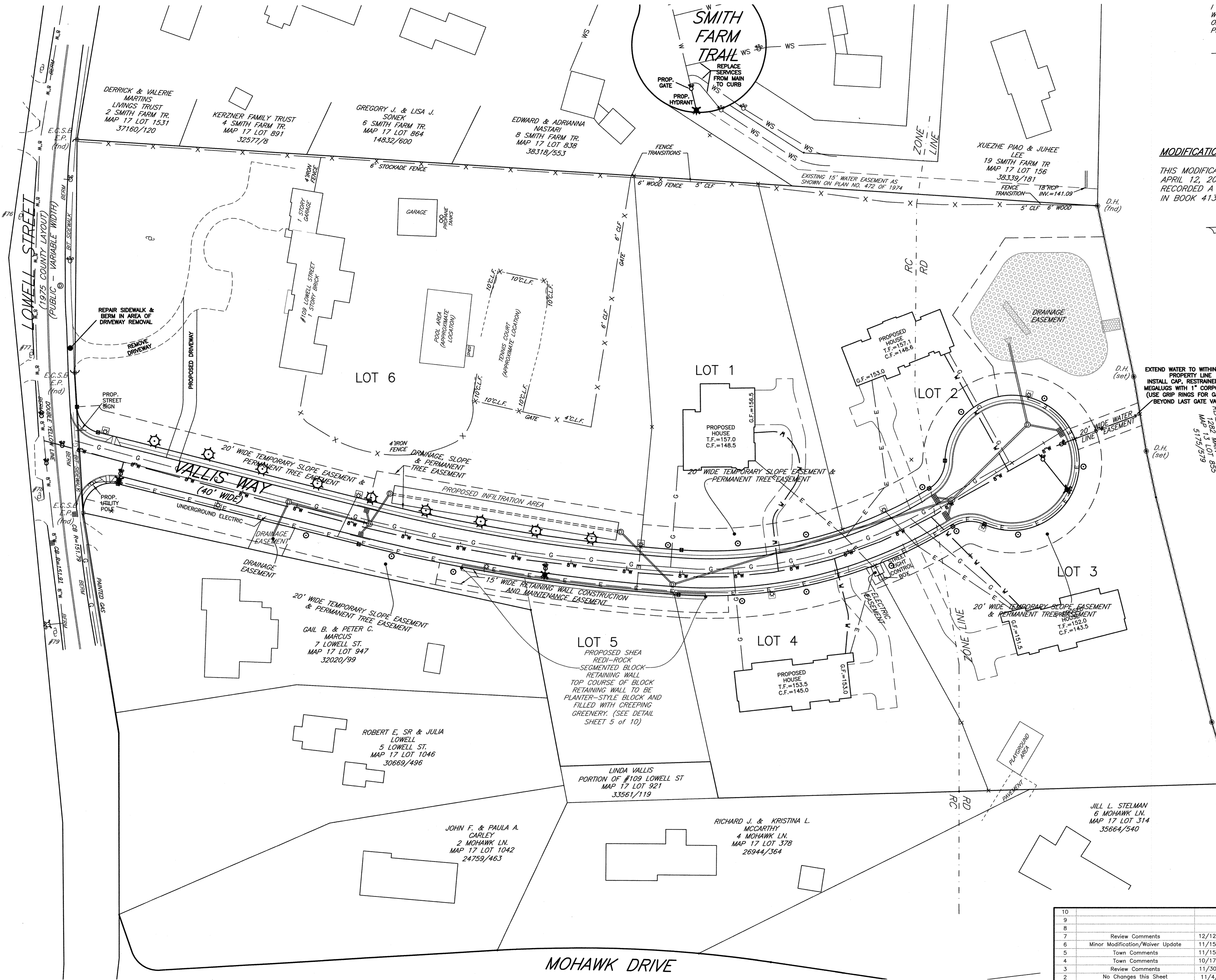
Plan Approved: _____

Plan Signed: _____

TOPOGRAPHIC SHEET 1 OF 2

SET SHEET 4 OF 10

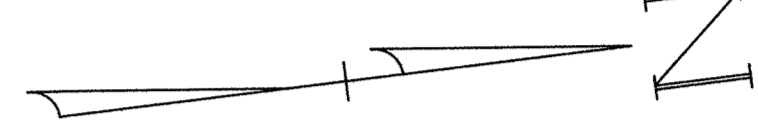
INSET: DURHAM DRIVE WATER IMPROVEMENTS
SCALE: 1"=40'



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Paul Hayes
 HAYES ENGINEERING, INC.

MODIFICATION NOTE:
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CLERK'S CERTIFICATION ON THE PLAN
 DATE: _____

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 TOWN CLERK

EXTEND WATER TO WITHIN 5' OF PROPERTY LINE
 INSTALL CAP, RESTRAINED WITH MEGALUGS WITH 1" CORPORATION (USE GRIP RINGS FOR GASKETS BEYOND LAST GATE VALVE)

SEAGUL SPRING REAL ESTATE TRUST
 1282 MAIN ST.
 MAP 13 LOT 855
 5/19/6/9

STREET LIGHTING PLAN

Seal of Peter J. O'Brien, Professional Engineer, No. 27145.

Hayes

0' 20' 40' 80' 120'

MODIFICATION PLAN
VALLIS WAY
LYNNFIELD, MASS.
 ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940

APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529

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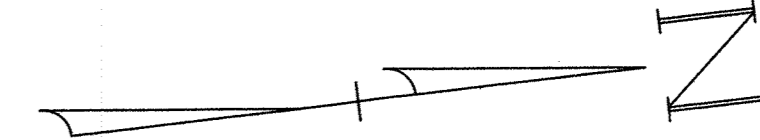
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No.	Revision	Date

LYNNFIELD PLANNING BOARD	Application Filed: _____
	Final Plan Filed: _____
	Hearing Date: _____
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	Plan Signed: _____
LIGHTING SHEET 1 OF 1	
SET SHEET 6 OF 10	

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Hayes
 HAYES ENGINEERING, INC.



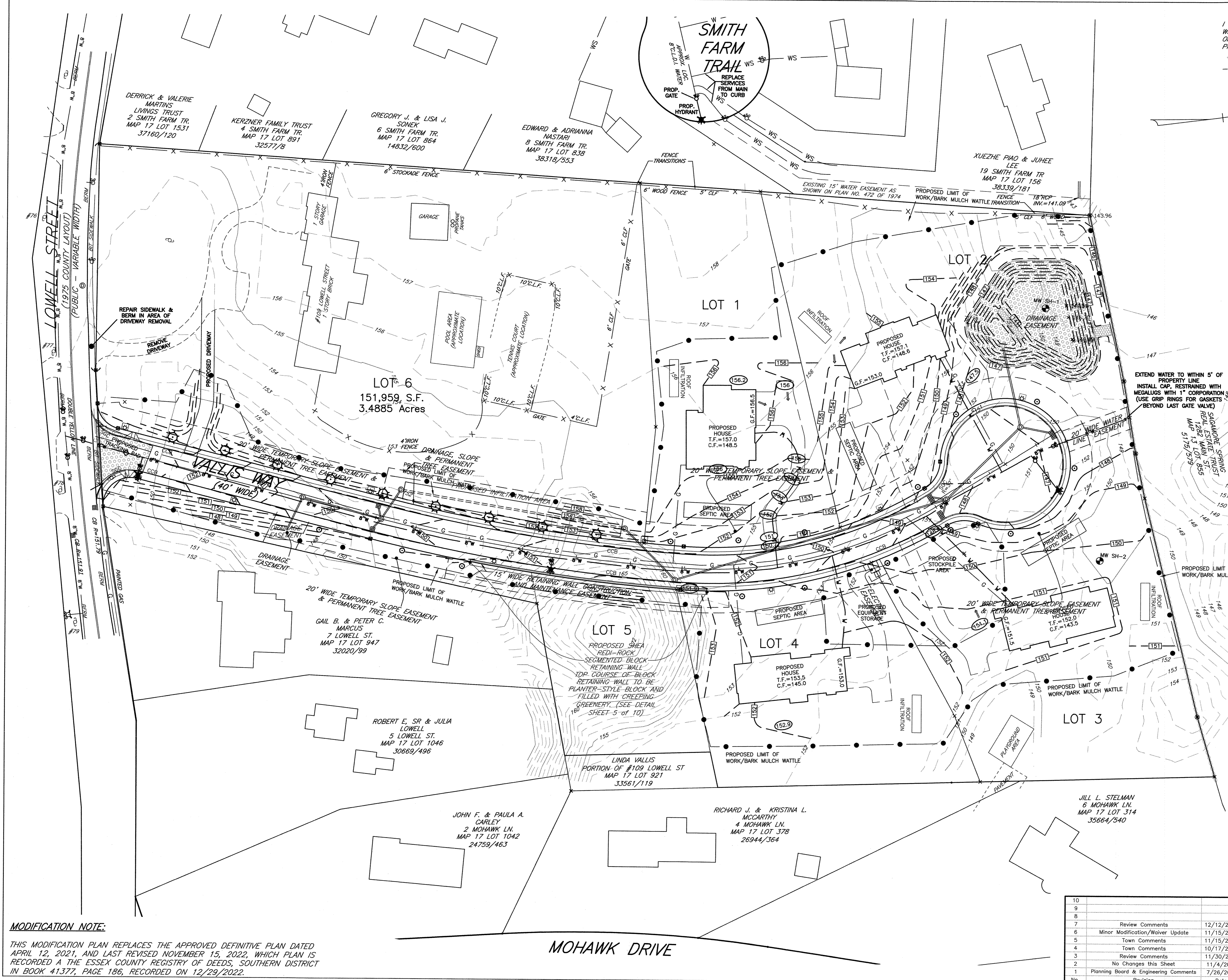
NOTE: ALL DISTURBED AREAS TO BE LANDSCAPED OR HYDROSEEDED
 ALL CATCH BASINS (INCLUDING CATCH BASINS ON LOWELL STREET) TO BE FITTED WITH SILTSACKS UNTIL THE ENTIRE SITE IS STABILIZED.
 SEE CPPP IN THE STORMWATER REPORT FOR OPERATIONAL DETAILS.

NO WETLANDS ARE LOCATED WITHIN 150 FEET OF THE PROPOSED SUBDIVISION OR WITHIN 150 FEET OF ANY WORK BASED ON AN EXAMINATION OF THE CONDITIONS ON THE GROUND BY A QUALIFIED WETLAND SCIENTIST.

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TOWN CLERK



EROSION CONTROL PLAN

Seal:

Hayes

0' 20' 40' 80' 120'

MODIFICATION PLAN
VALLIS WAY
 LYNNFIELD, MASS.
 ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940
 APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529
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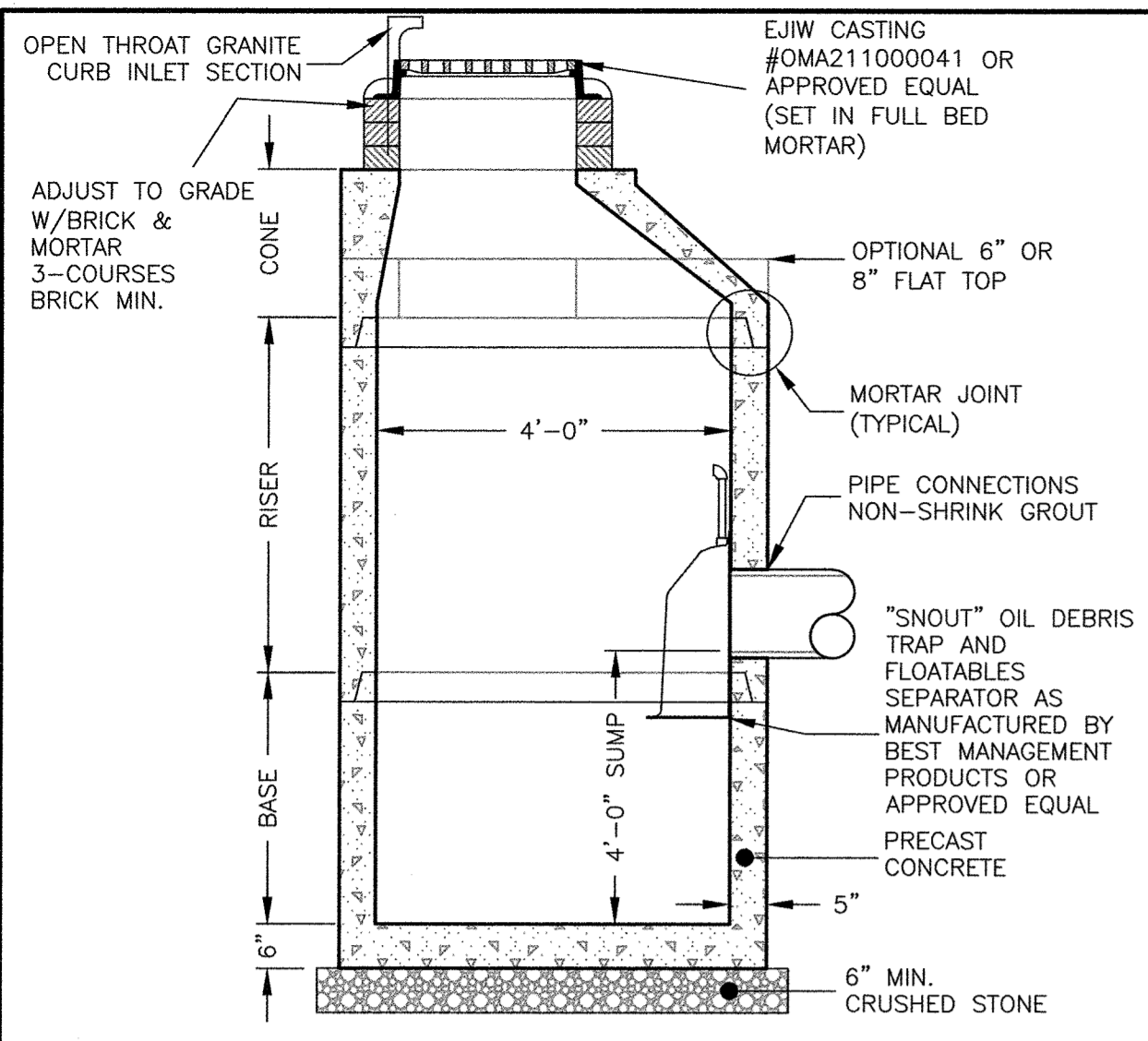
Scale: 1"=40' April 12, 2021

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EROSION SHEET 1 OF 1	
SET SHEET 7 OF 10	

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1	Planning Board & Engineering Comments	7/26/2021
No.	Revision	Date

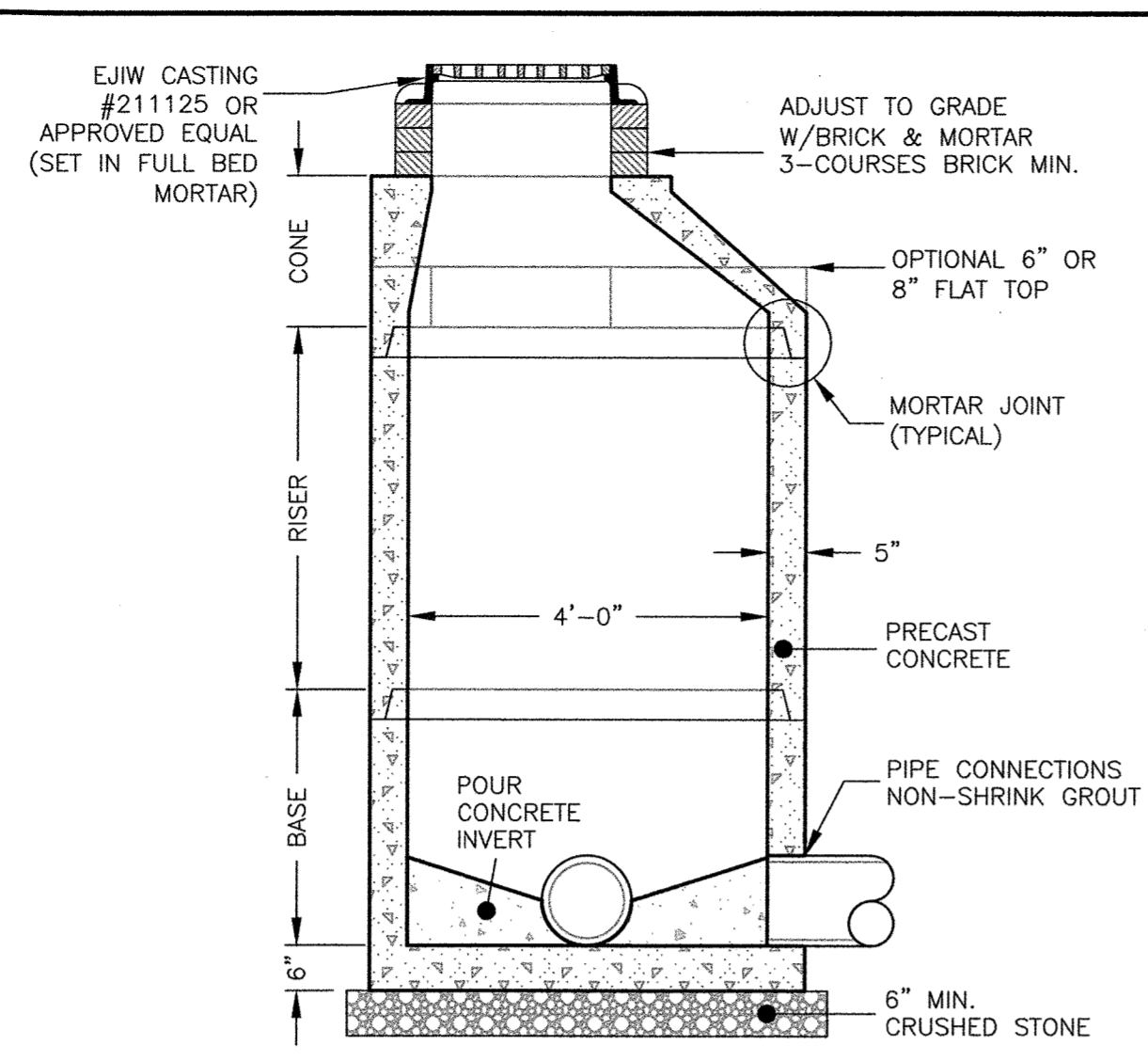
MODIFICATION NOTE:
 THIS MODIFICATION PLAN REPLACES THE APPROVED DEFINITIVE PLAN DATED APRIL 12, 2021, AND LAST REVISED NOVEMBER 15, 2022, WHICH PLAN IS RECORDED AT THE ESSEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT IN BOOK 41377, PAGE 186, RECORDED ON 12/29/2022.

MOHAWK DRIVE



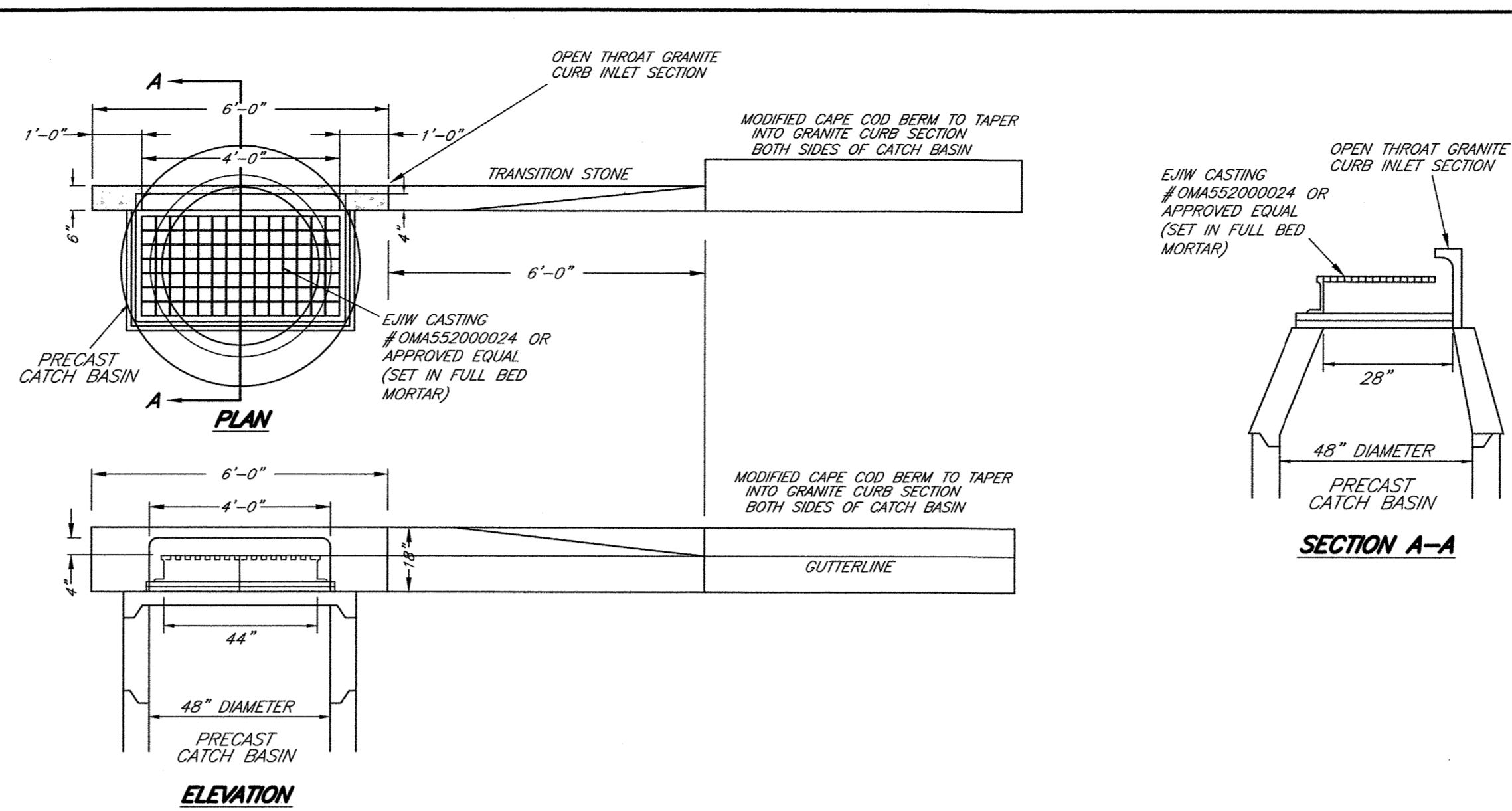
PRE-CAST CATCH BASIN
NOT TO SCALE

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."



PRE-CAST DRAIN MANHOLE
NOT TO SCALE

- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
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GRANITE CURB INLET
NOT TO SCALE

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Peter Hayes
HAYES ENGINEERING, INC.

REQUESTED WAIVERS

PLAN WAIVERS: TO NOT SHOW THE FOLLOWING DETAILS.

375-6.4.G(1)(m) WOOD/STEEL GUARDRAIL INSTALLATION [UPDATED SECTION 6.4.G(1)(m)]

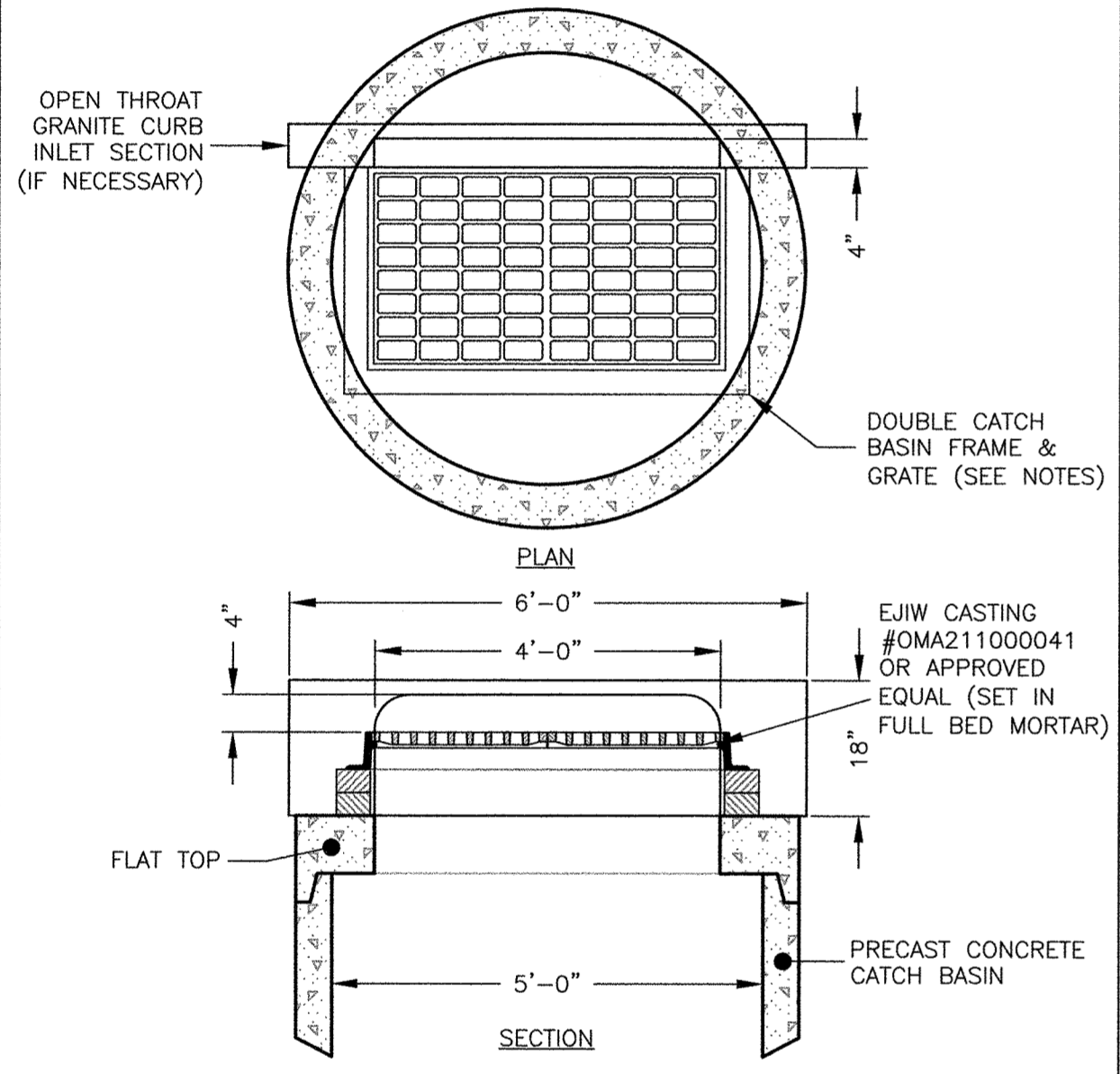
375-6.4.G(1)(u) DESIGNATED TREE PROTECTION ZONE [UPDATED SECTION 6.4.G(1)(u)]

CLERK'S CERTIFICATION ON THE PLAN

DATE: _____

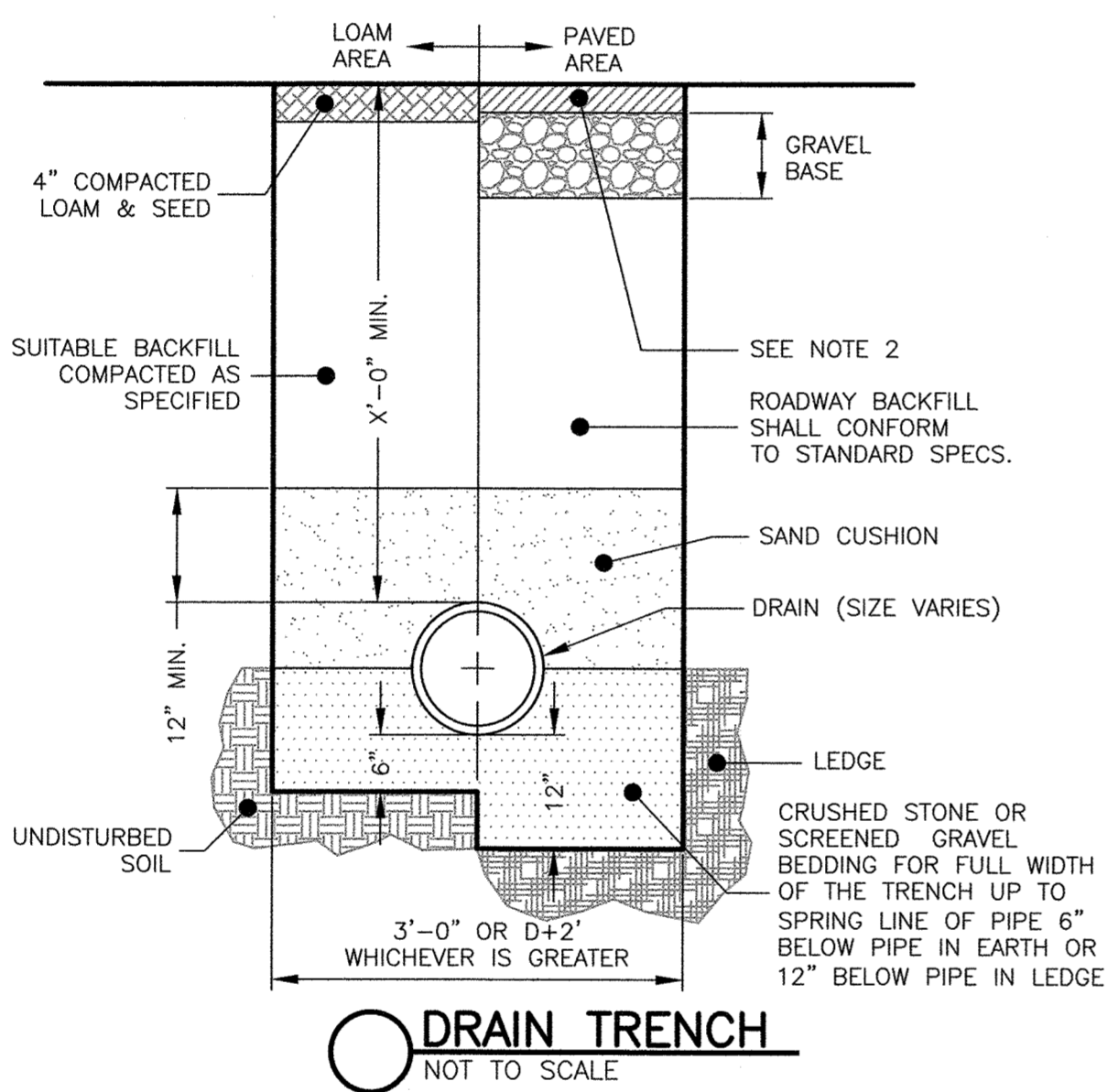
I, _____, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

_____ TOWN CLERK



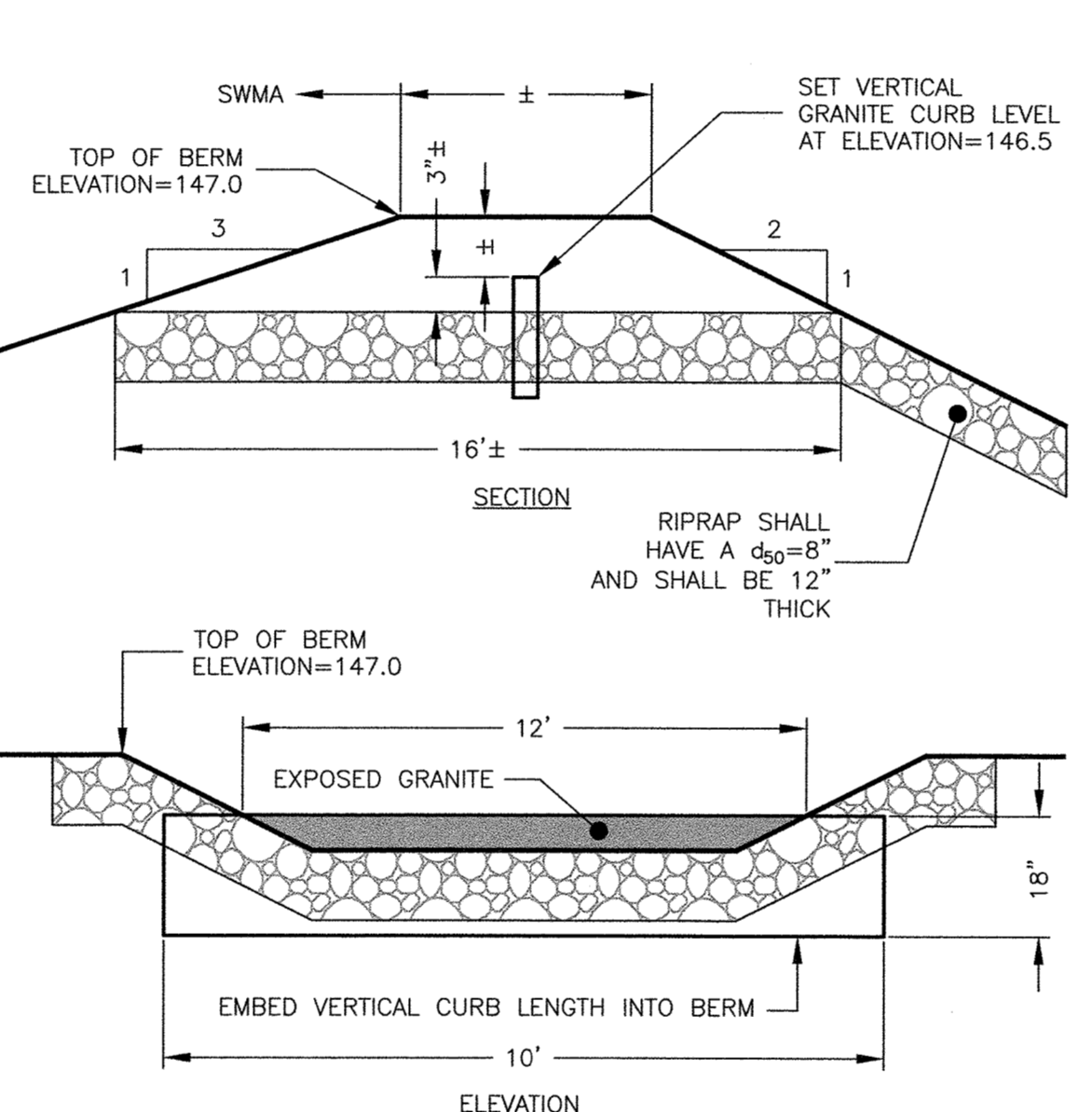
DOUBLE FRAME & GRATE
NOT TO SCALE

- NOTES:
1. ON SLOPES USE LEBARON LV2448-2-000 FRAME W/LEBARON LK1200-300 3 FLANGE CASCADE GRATE OR APPROVED EQUAL.
 2. AT LOW POINTS USE LEBARON LV2448-2-000 FRAME W/LEBARON LF248-2-000 3 FLANGE GRATE OR APPROVED EQUAL.

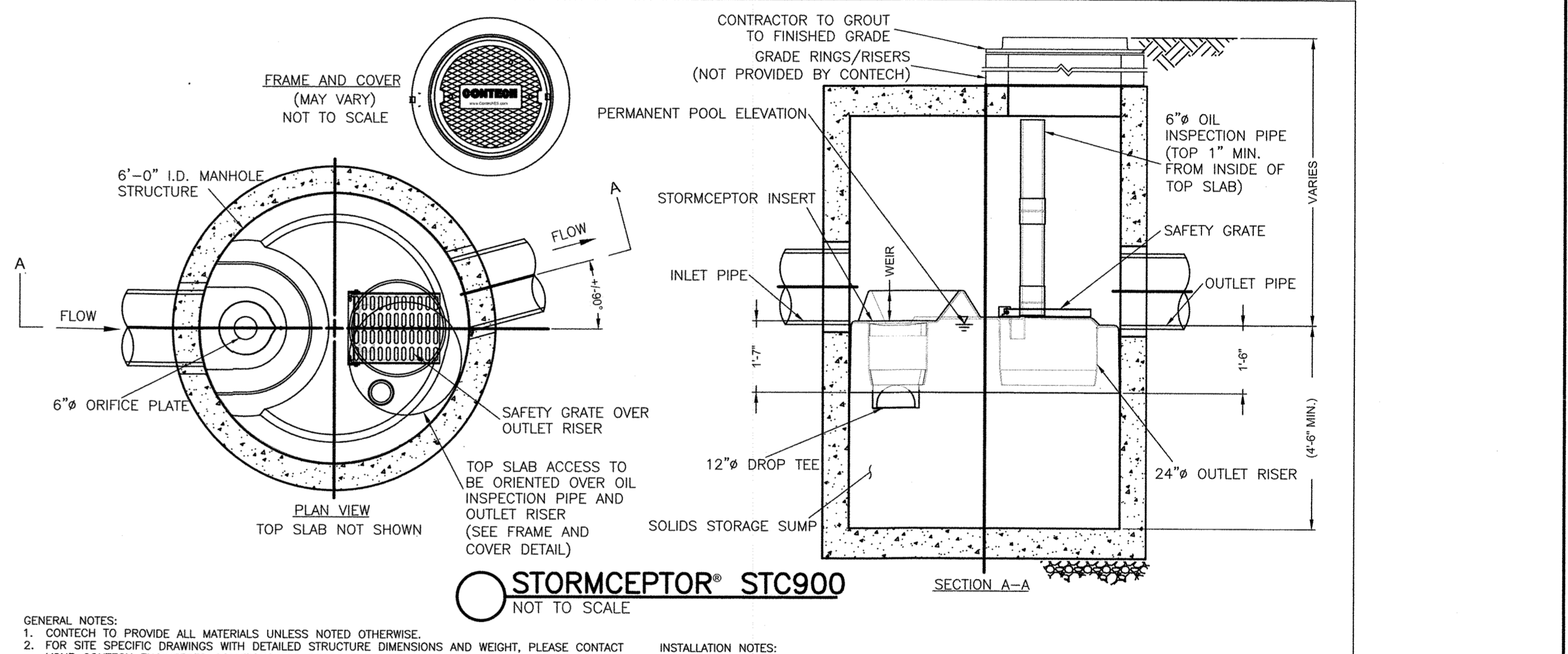


DRAIN TRENCH
NOT TO SCALE

- NOTES:
1. ALL MATERIAL SHALL CONFORM TO CITY/TOWN OF DEPARTMENT OF PUBLIC WORKS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO CITY/TOWN SPECIFICATIONS.
 3. IN LIEU OF THE 12" GRAVEL COURSE AND 9" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
 4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
 5. A MINIMUM 2' CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.

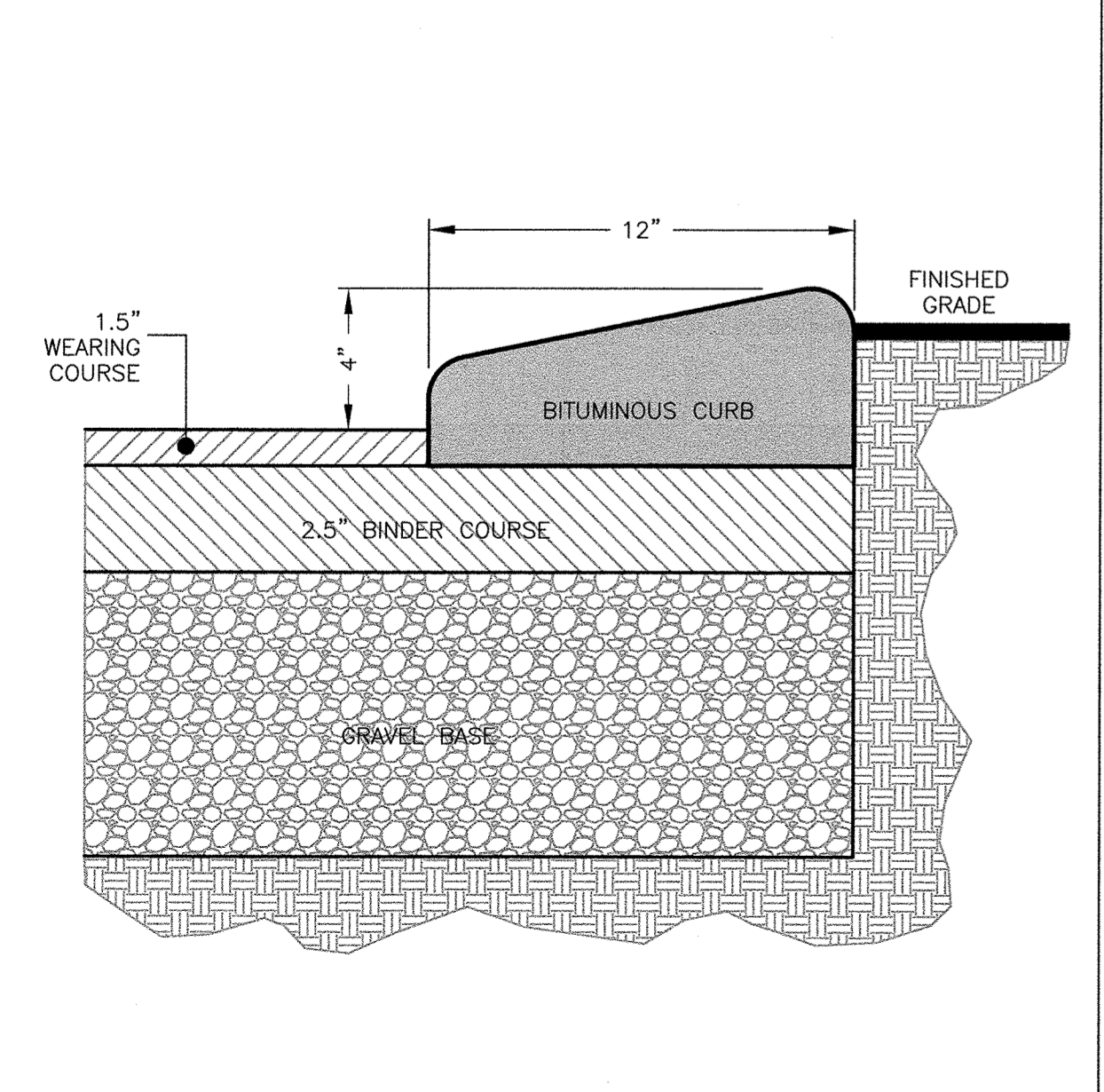


SPILLWAY
NOT TO SCALE

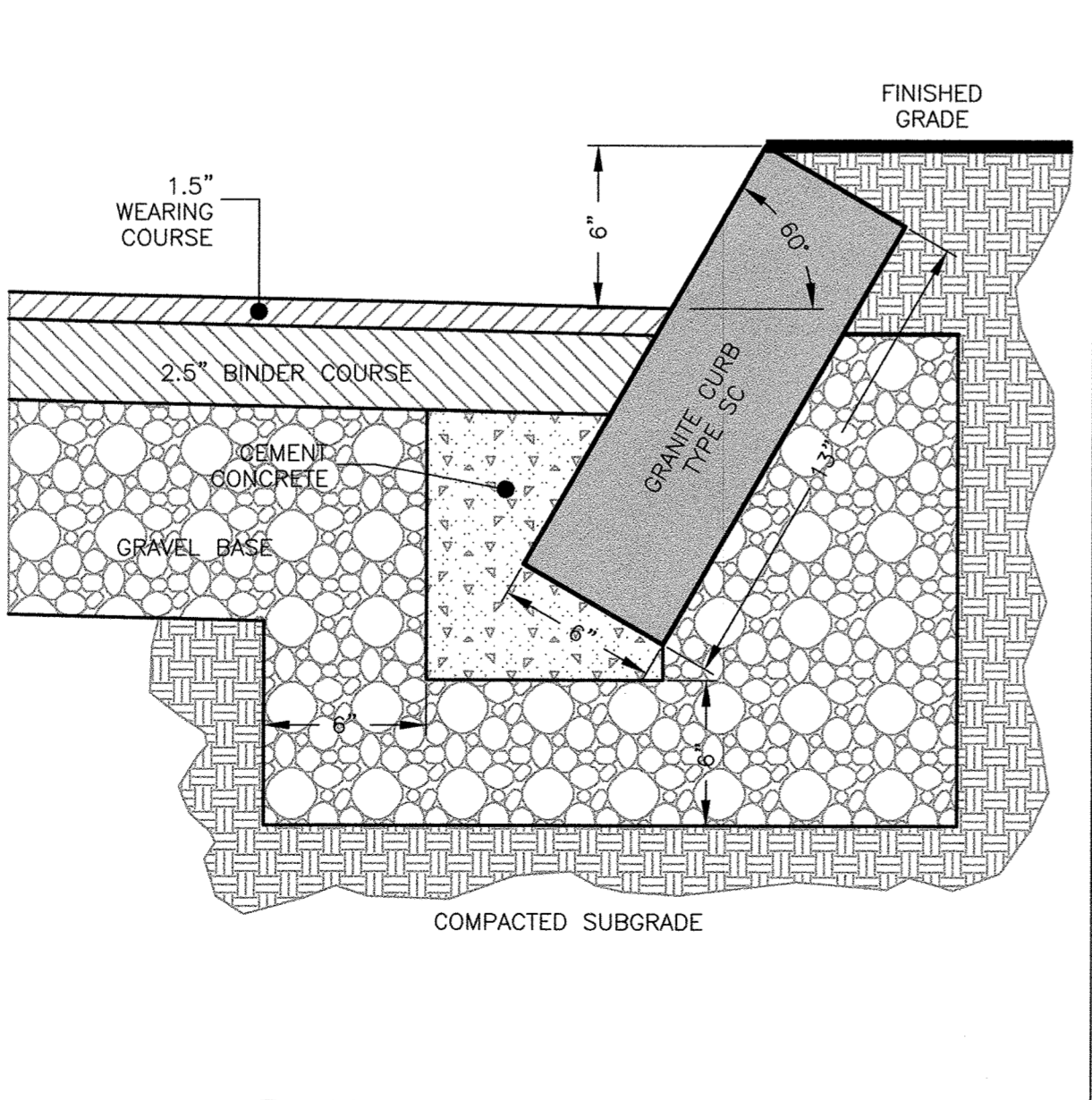


STORMCEPTOR® STC900
NOT TO SCALE

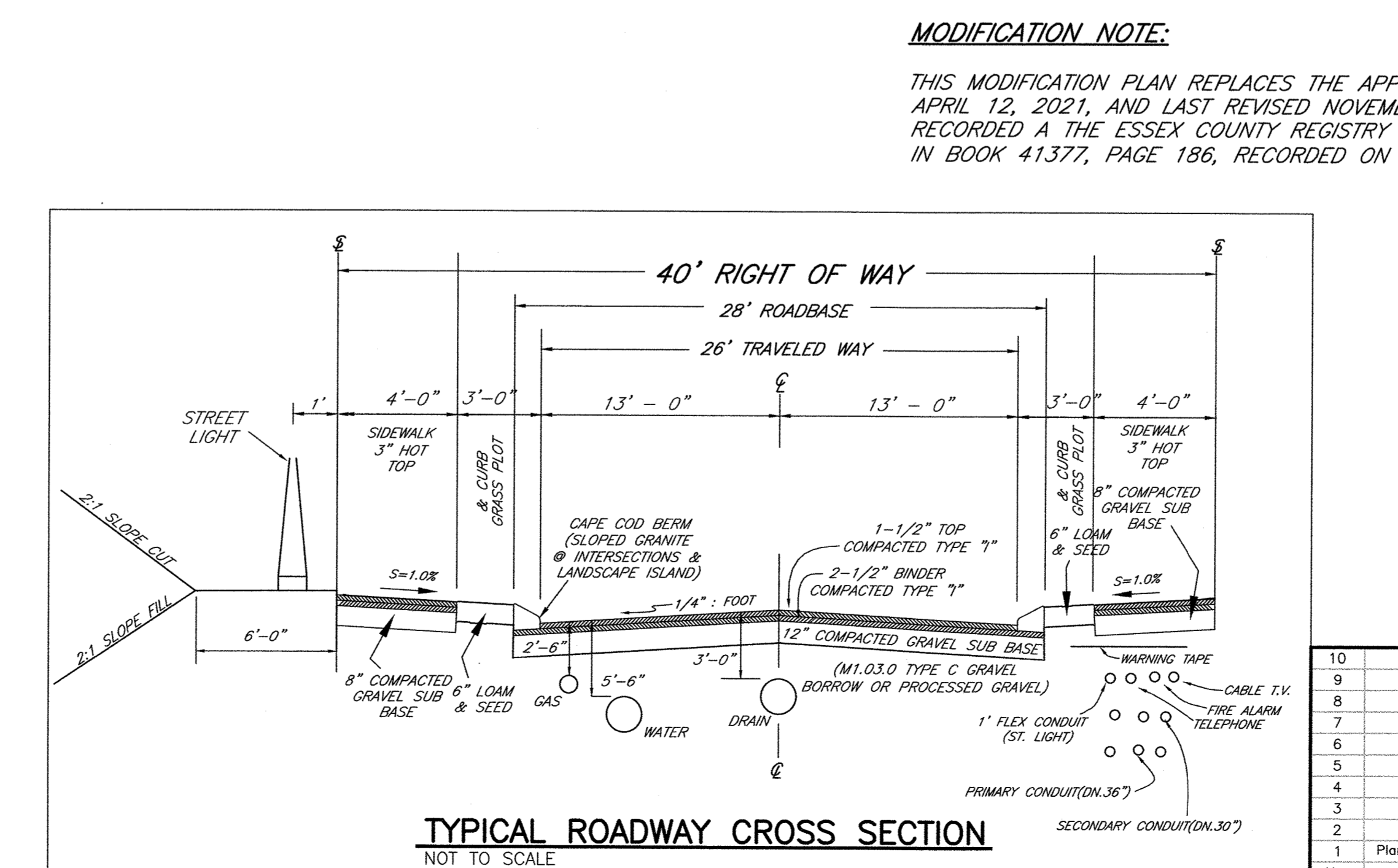
- GENERAL NOTES:
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com
 3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- INSTALLATION NOTES:
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CAPE COD CURB
NOT TO SCALE



SLOPED GRANITE CURB
NOT TO SCALE



TYPICAL ROADWAY CROSS SECTION
NOT TO SCALE

MODIFICATION NOTE:

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DETAIL SHEET

Seal:

Peter Hayes

0' 20' 40' 80' 120'

MODIFICATION PLAN
VALLIS WAY
LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940

APPLICANT: PAUL CAGGIANO, 2666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529

Engineer: Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hayeseng.com

Scale: 1"=40'

April 12, 2021

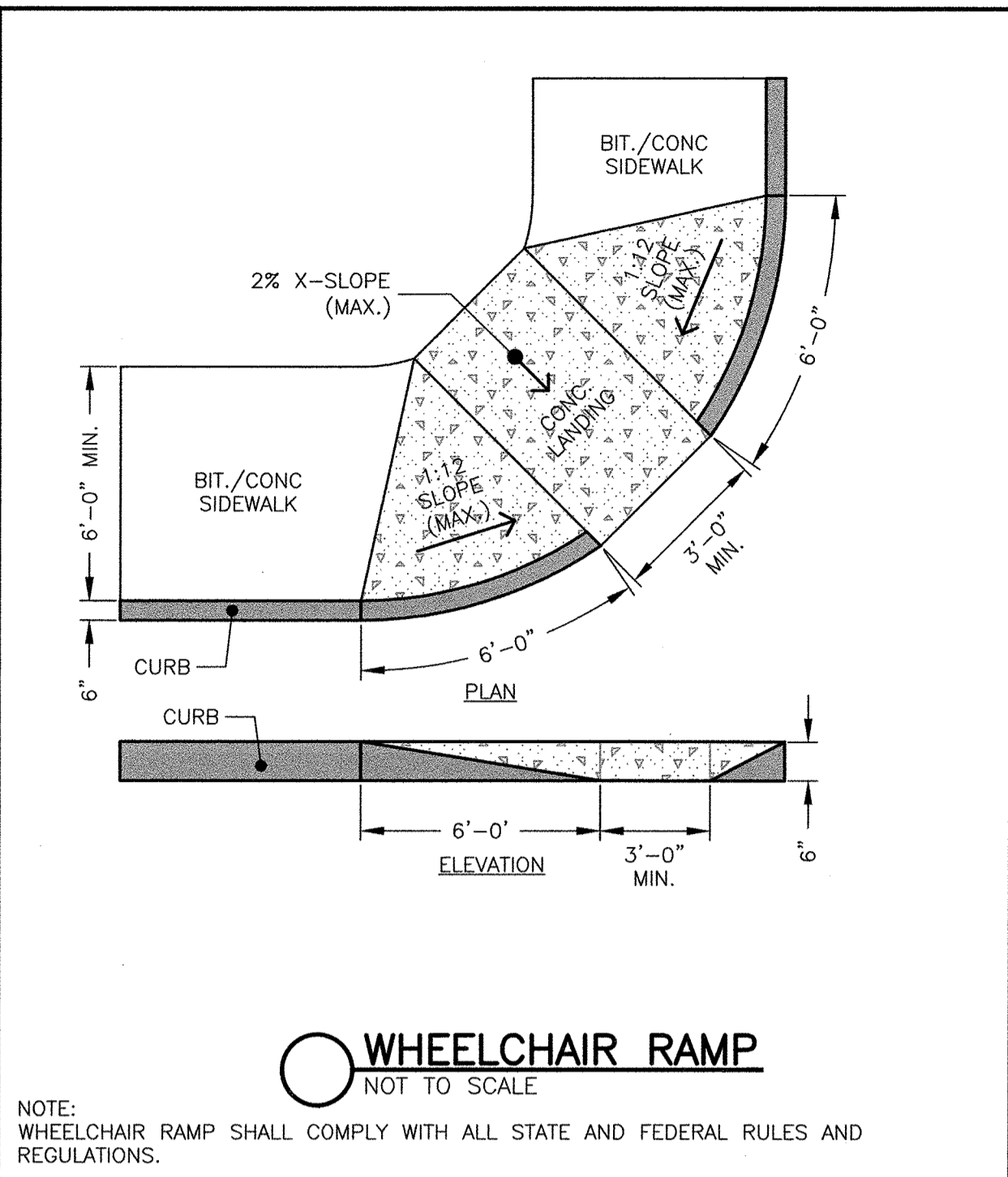
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9		
8		
7	Review Comments	12/12/2023
6	Minor Modification/Waiver Update	11/15/2023
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4	Town Comments	10/17/2022
3	Review Comments	11/30/2021
2	No Changes this Sheet	11/4/2021
1	Planning Board & Engineering Comments	7/26/2021
No.	Revision	Date

LYNNFIELD PLANNING BOARD

Application Filed: _____
Final Plan Filed: _____
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Plan Approved: _____
Plan Signed: _____

DETAIL SHEET 1 OF 3

SET SHEET 8 OF 10



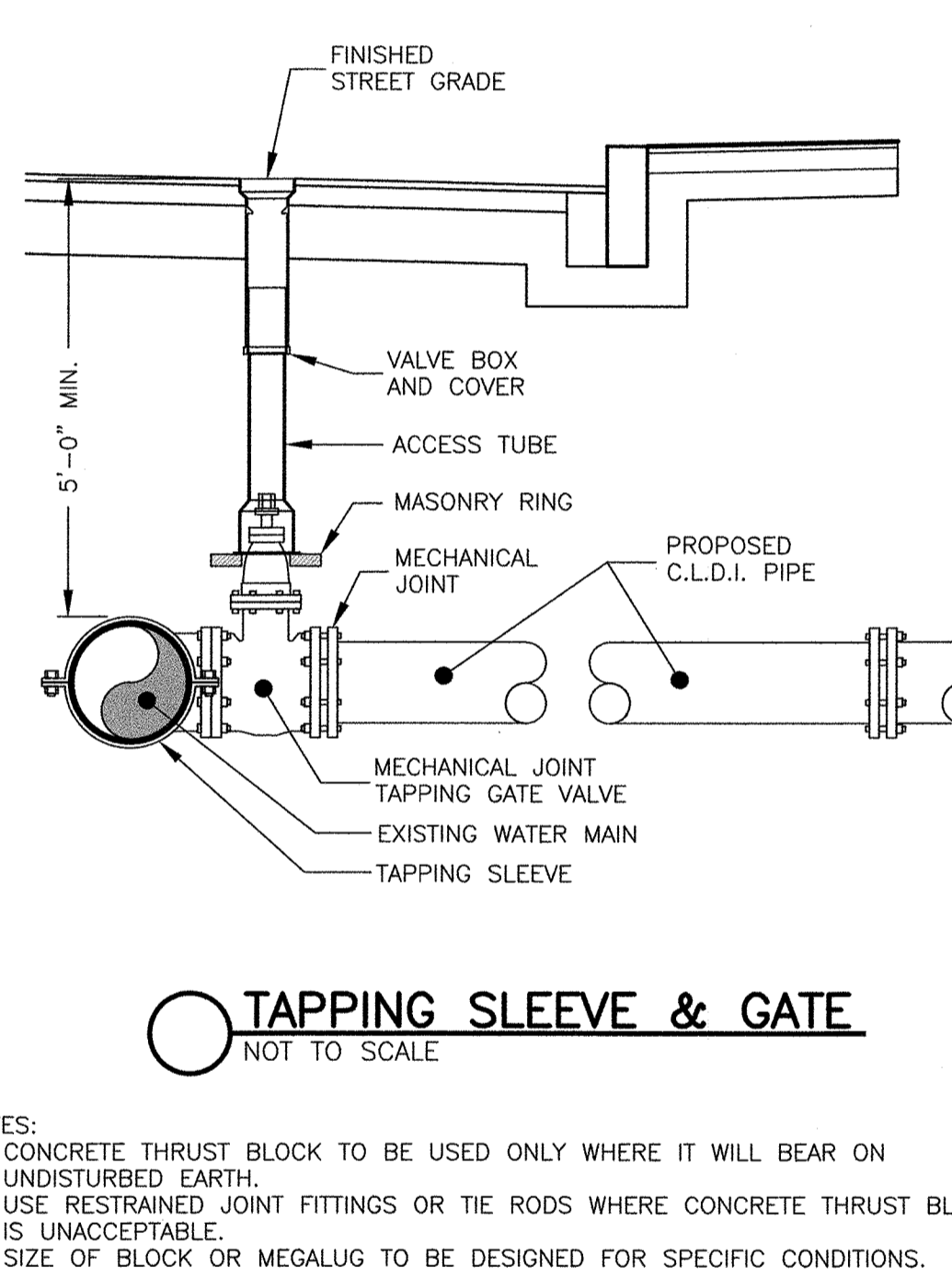
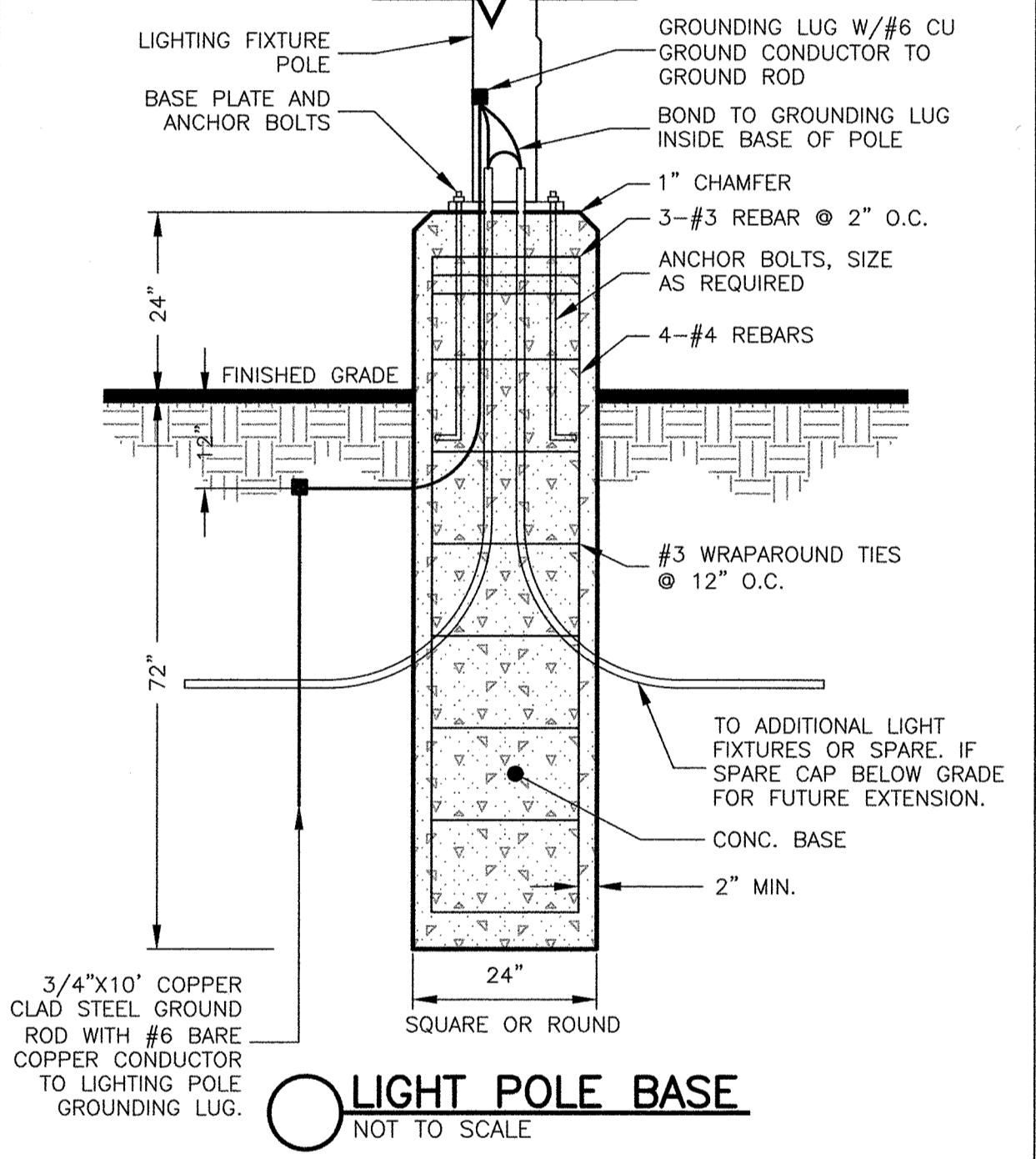
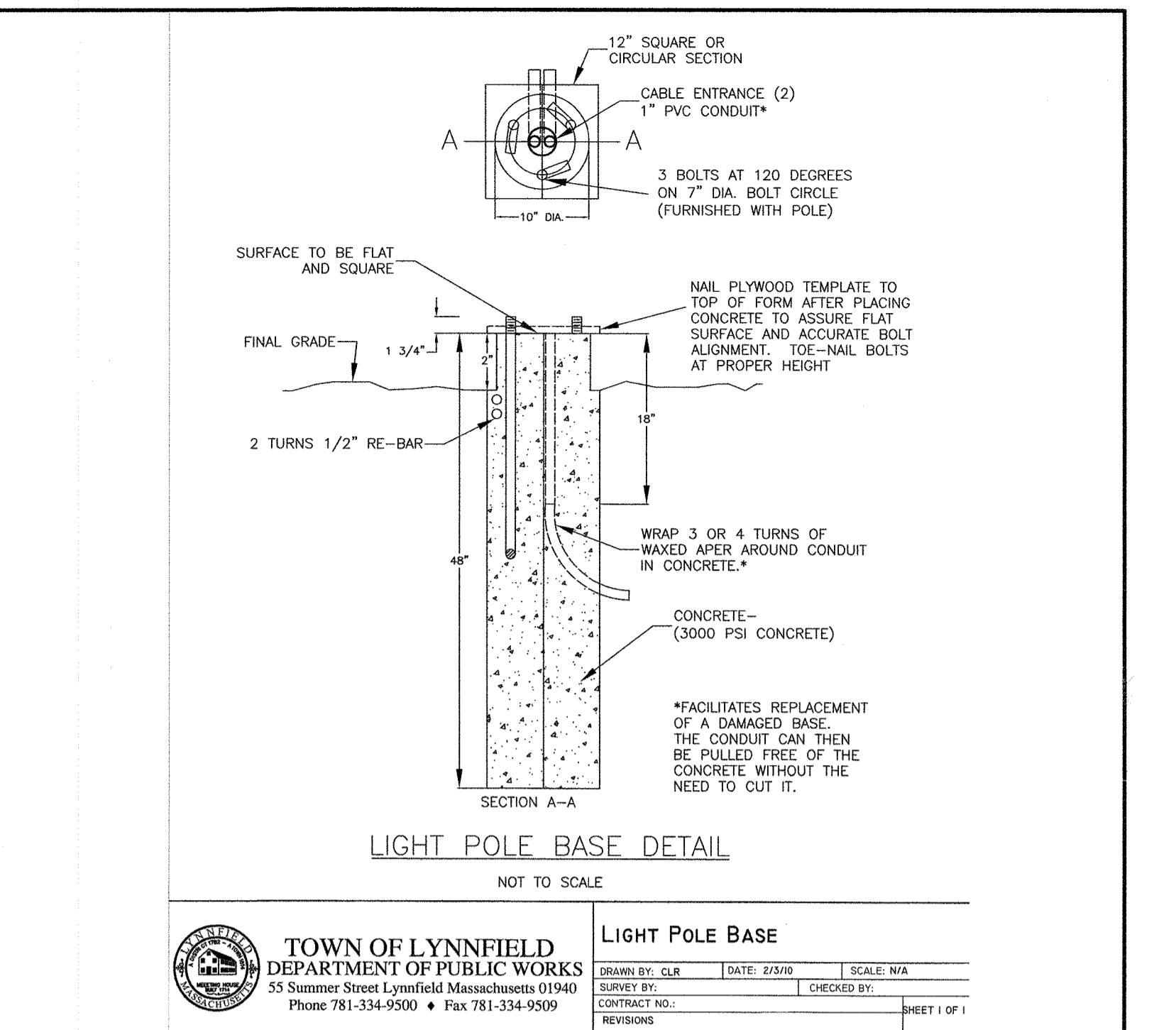
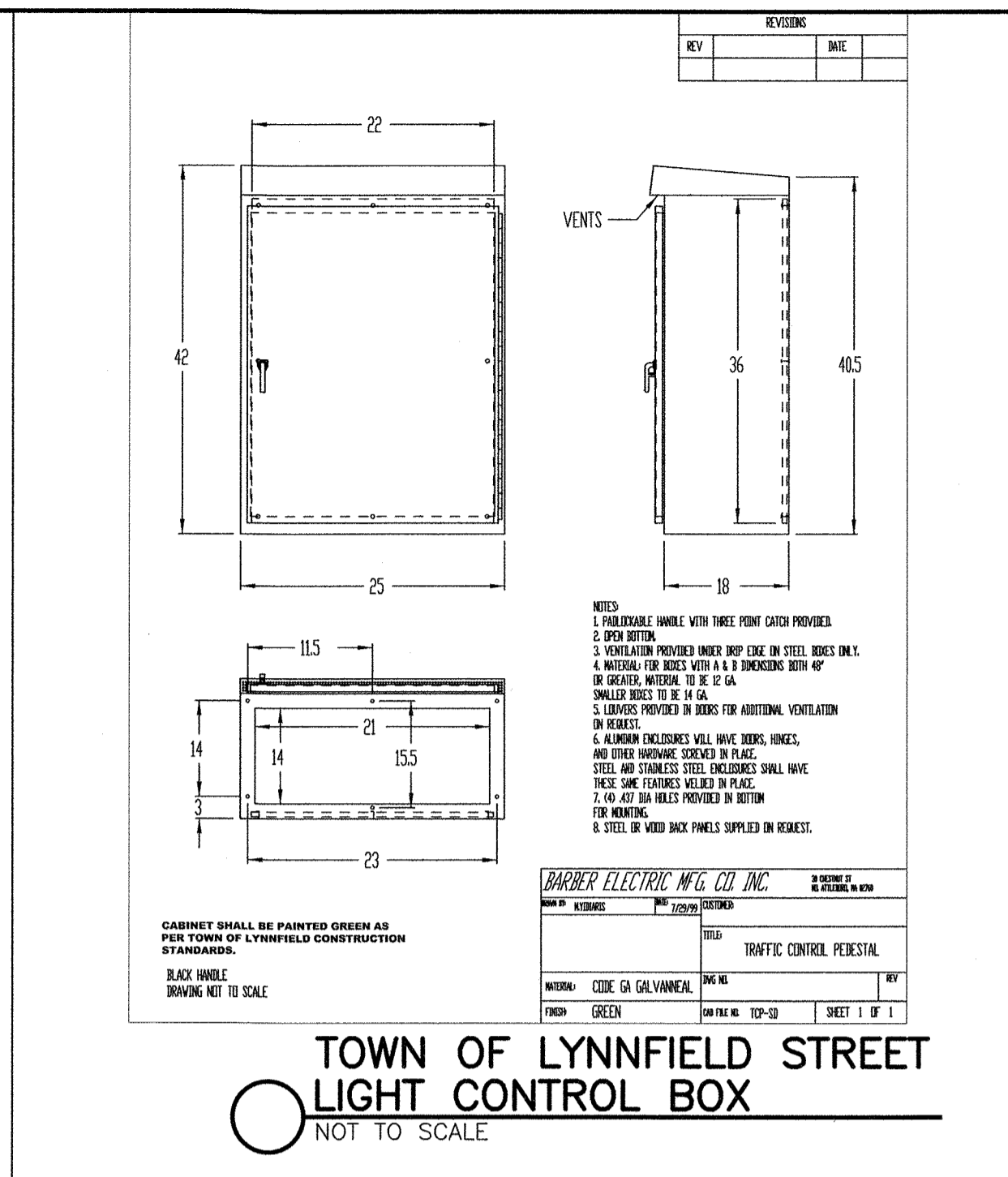
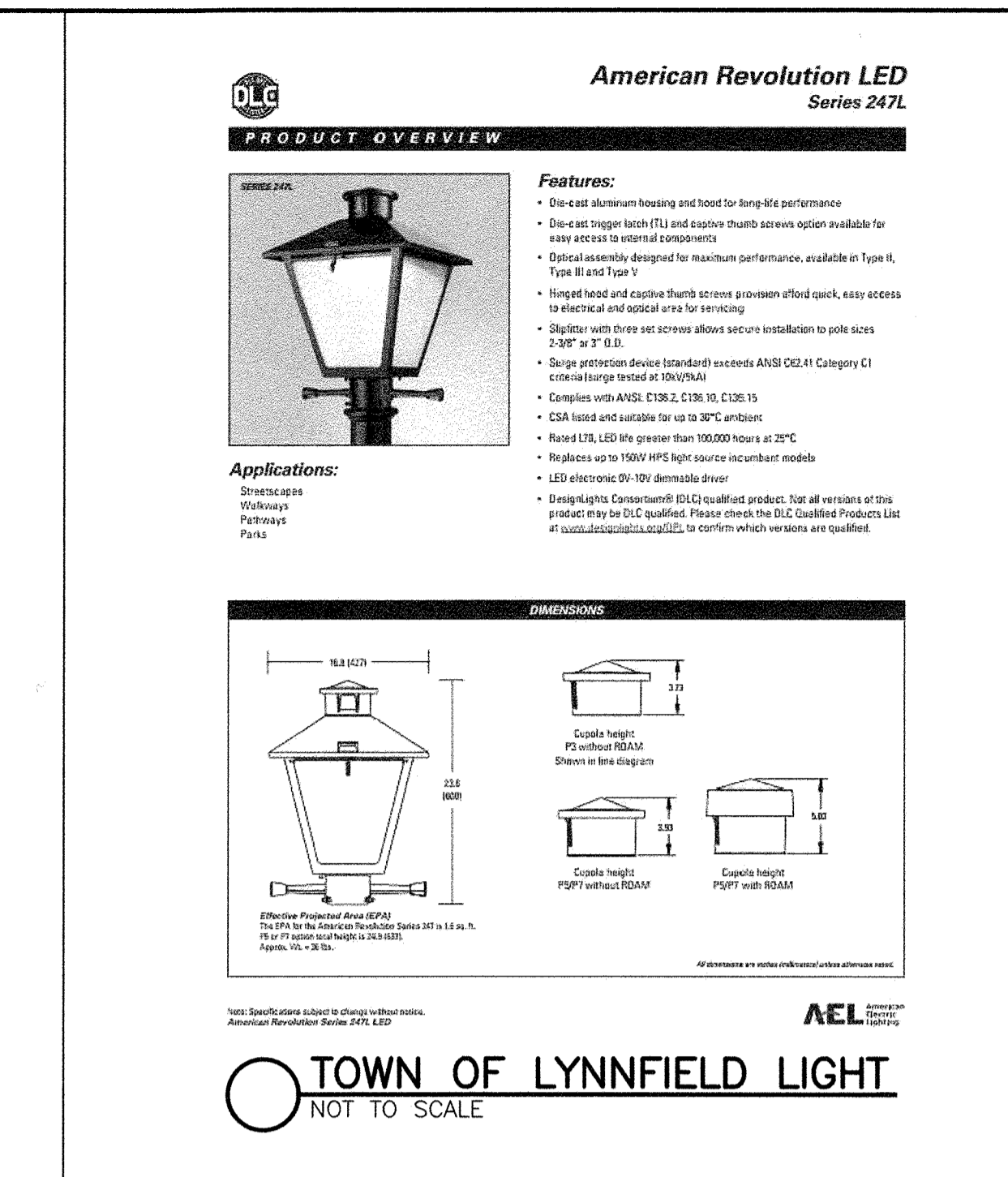
ALUMINUM ROUND TAPERED AREA LIGHTING POLES
10 TO 20 FEET (3 TO 6 METERS)

For more Decorative Pole selections, go to: www.gelighting.com

POLE SELECTION TABLE

Normal Height (ft)	Height (m)	Weight (lb)	Weight (kg)	Wind Speed (mph)	Wind Speed (km/h)	Wind Pressure (psf)	Wind Pressure (kN/m²)	Notes
10	3.0	120	54	15	24	0.17	0.008	Standard
12	3.7	150	68	20	32	0.22	0.011	Standard
14	4.3	180	82	25	40	0.28	0.013	Standard
16	4.9	210	96	30	48	0.34	0.016	Standard
18	5.5	240	110	35	56	0.40	0.019	Standard
20	6.1	270	124	40	64	0.46	0.022	Standard
22	6.7	300	138	45	72	0.52	0.025	Standard
24	7.3	330	152	50	80	0.58	0.028	Standard
26	7.9	360	166	55	88	0.64	0.031	Standard
28	8.5	390	180	60	96	0.70	0.034	Standard
30	9.1	420	194	65	104	0.76	0.037	Standard
32	9.7	450	208	70	112	0.82	0.040	Standard
34	10.3	480	222	75	120	0.88	0.043	Standard
36	10.9	510	236	80	128	0.94	0.046	Standard
38	11.5	540	250	85	136	1.00	0.049	Standard
40	12.1	570	264	90	144	1.06	0.052	Standard
42	12.7	600	278	95	152	1.12	0.055	Standard
44	13.3	630	292	100	160	1.18	0.058	Standard
46	13.9	660	306	105	168	1.24	0.061	Standard
48	14.5	690	320	110	176	1.30	0.064	Standard
50	15.1	720	334	115	184	1.36	0.067	Standard
52	15.7	750	348	120	192	1.42	0.070	Standard
54	16.3	780	362	125	200	1.48	0.073	Standard
56	16.9	810	376	130	208	1.54	0.076	Standard
58	17.5	840	390	135	216	1.60	0.079	Standard
60	18.1	870	404	140	224	1.66	0.082	Standard
62	18.7	900	418	145	232	1.72	0.085	Standard
64	19.3	930	432	150	240	1.78	0.088	Standard
66	19.9	960	446	155	248	1.84	0.091	Standard
68	20.5	990	460	160	256	1.90	0.094	Standard
70	21.1	1020	474	165	264	1.96	0.097	Standard
72	21.7	1050	488	170	272	2.02	0.100	Standard
74	22.3	1080	502	175	280	2.08	0.103	Standard
76	22.9	1110	516	180	288	2.14	0.106	Standard
78	23.5	1140	530	185	296	2.20	0.109	Standard
80	24.1	1170	544	190	304	2.26	0.112	Standard
82	24.7	1200	558	195	312	2.32	0.115	Standard
84	25.3	1230	572	200	320	2.38	0.118	Standard
86	25.9	1260	586	205	328	2.44	0.121	Standard
88	26.5	1290	600	210	336	2.50	0.124	Standard
90	27.1	1320	614	215	344	2.56	0.127	Standard
92	27.7	1350	628	220	352	2.62	0.130	Standard
94	28.3	1380	642	225	360	2.68	0.133	Standard
96	28.9	1410	656	230	368	2.74	0.136	Standard
98	29.5	1440	670	235	376	2.80	0.139	Standard
100	30.1	1470	684	240	384	2.86	0.142	Standard

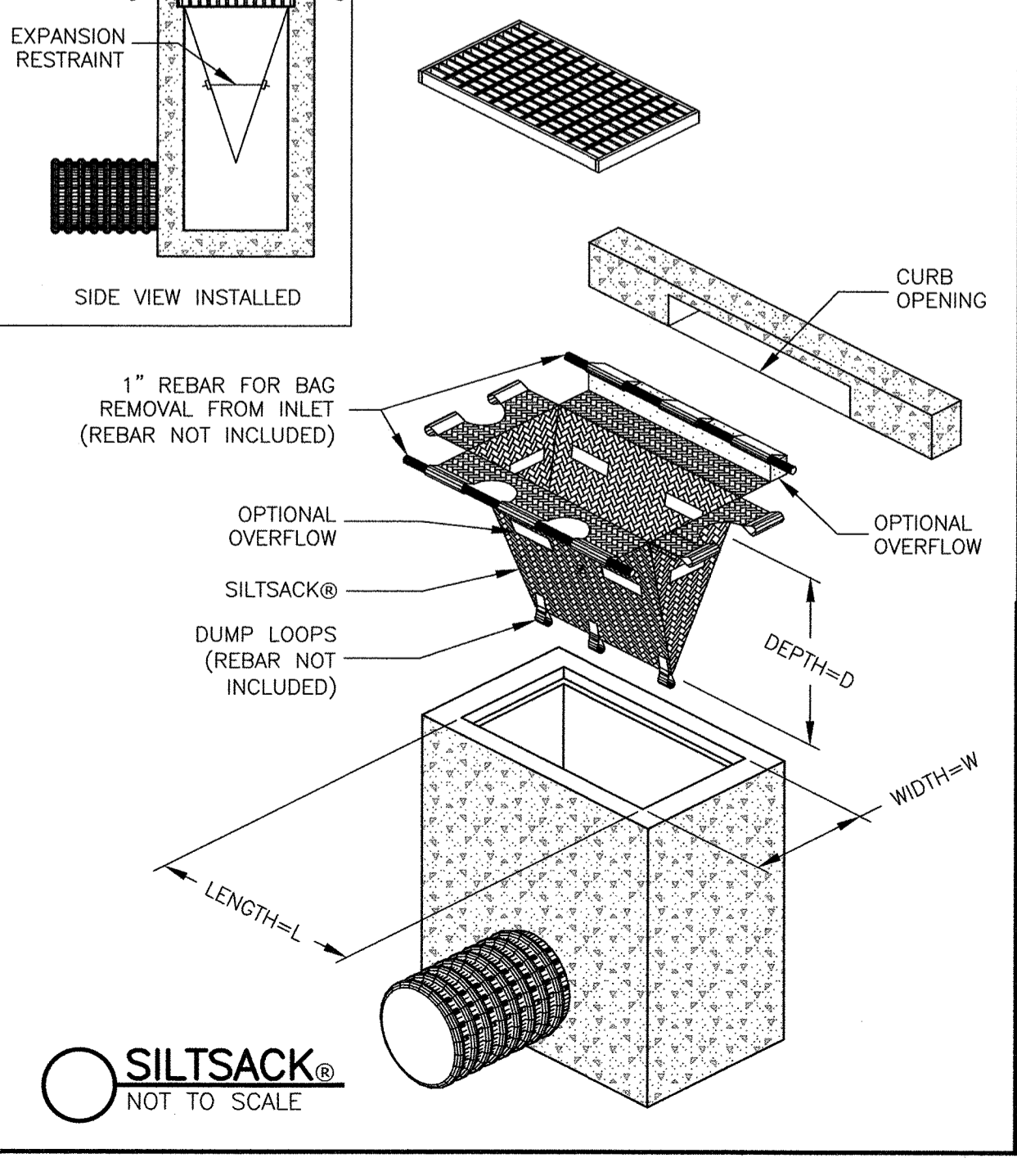
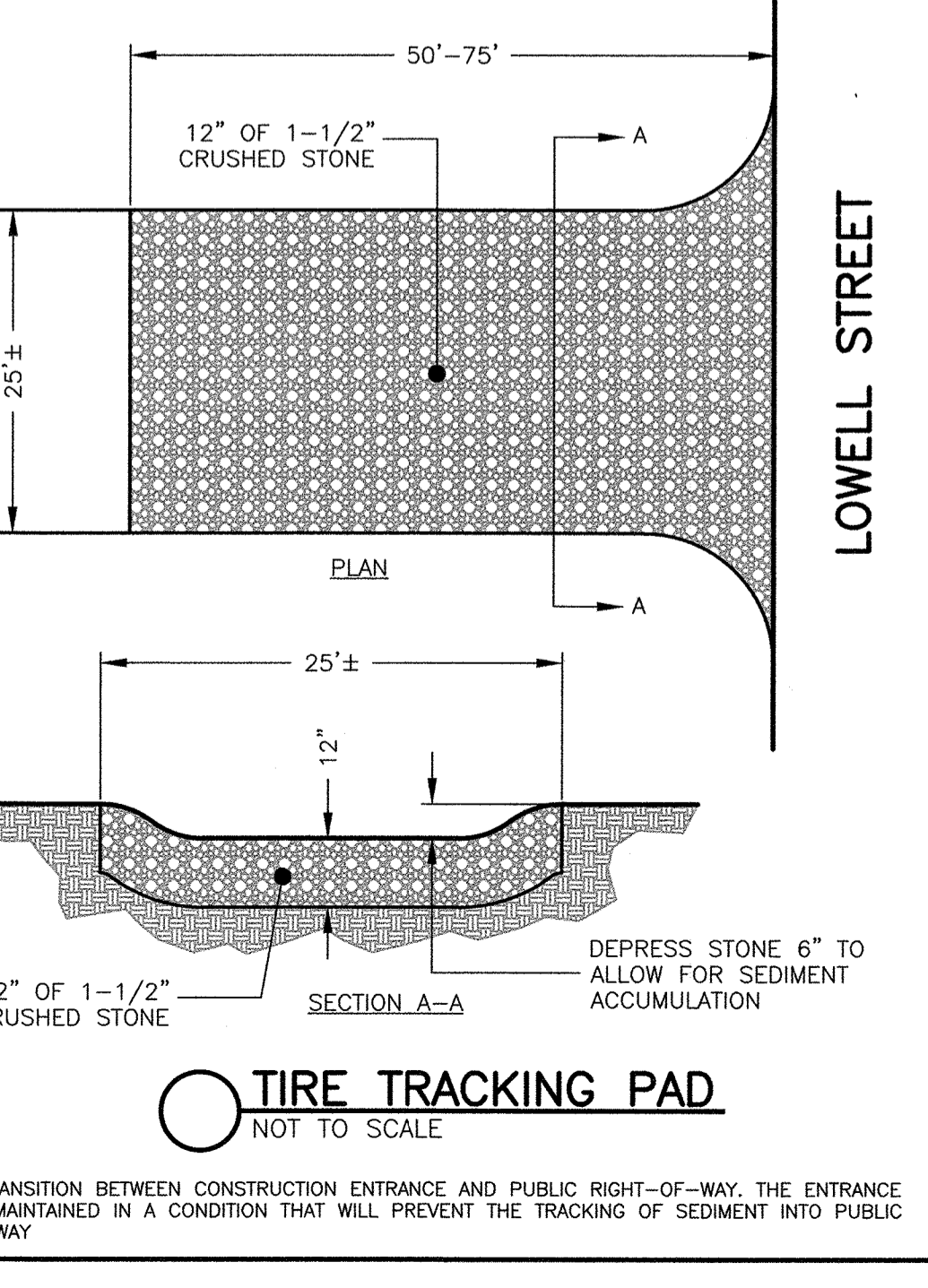
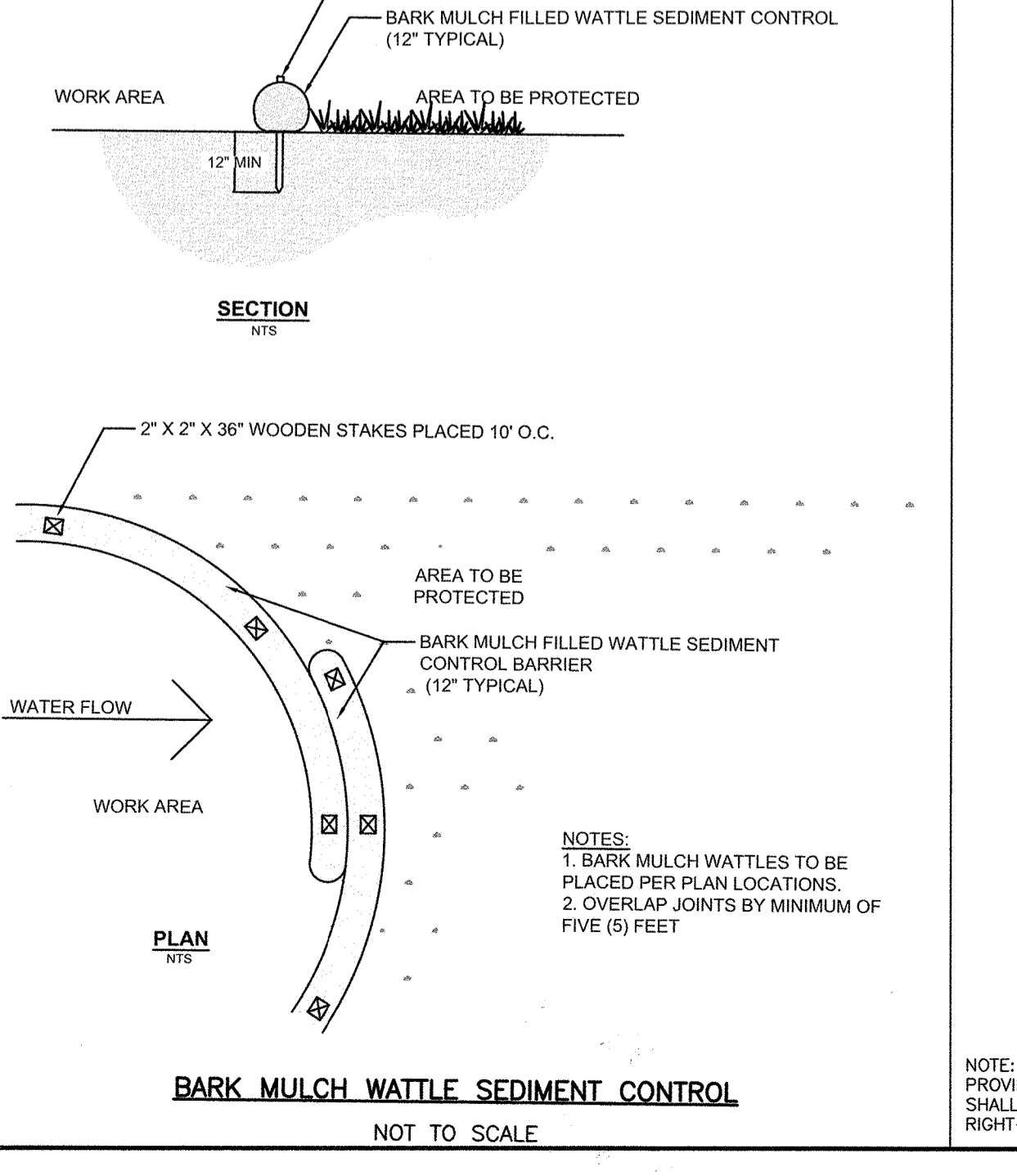
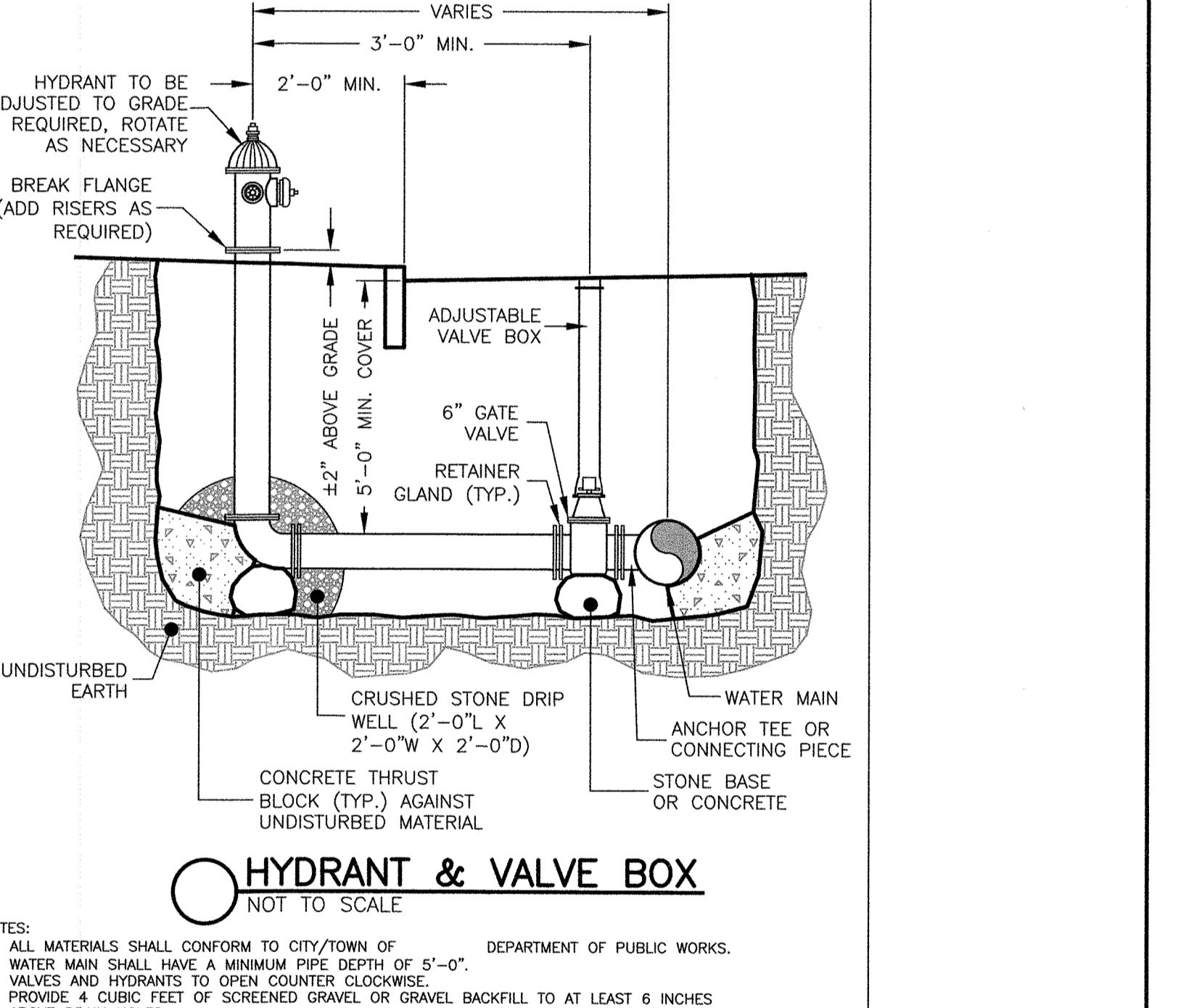
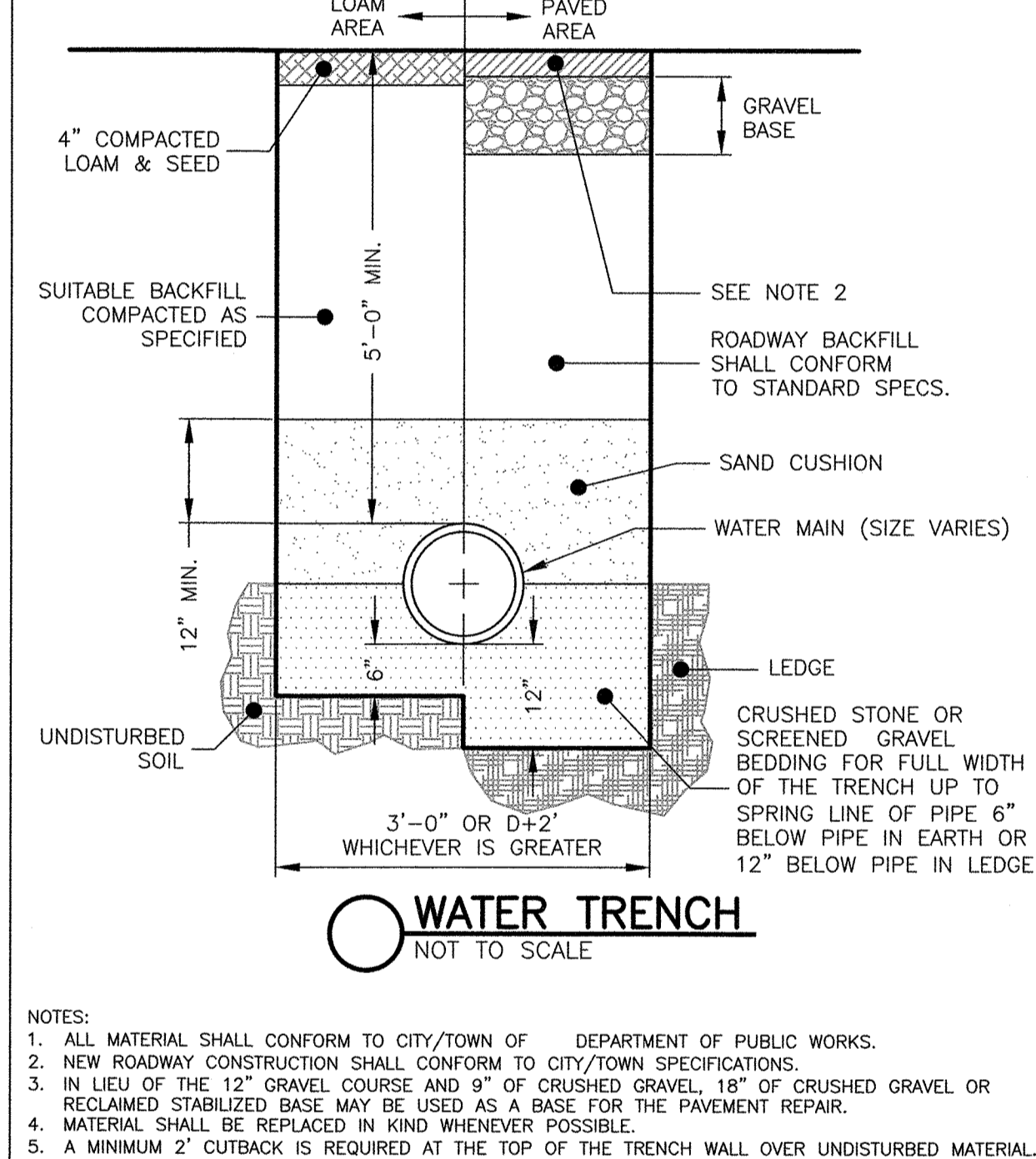
TOWN OF LYNNFIELD LIGHT POLE
NOT TO SCALE



MINIMUM BEARING FACE AREA FOR CONCRETE THRUST BLOCK

PIPE SIZE (in.)	90° BEND (s.f.)	45° BEND (s.f.)	22.5° BEND (s.f.)	TEES, PLUGS, CAPS & HYDRANTS (s.f.)
6	6	5	3	4
8	12	8	5	6
10	19	13	7	9
12	26	18	10	13

THRUST BLOCK
NOT TO SCALE



MODIFICATION NOTE:

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CLERK'S CERTIFICATION ON THE PLAN
DATE: _____

I, CLERK OF THE TOWN OF LYNNFIELD, DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL HAS BEEN RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

REQUESTED WAIVERS
TOWN CLERK

PLAN WAIVERS: TO NOT SHOW THE FOLLOWING DETAILS.

375-6.4.G(1)(m) WOOD/STEEL GUARDRAIL INSTALLATION [UPDATED SECTION 6.4.G.(1)(m)]

375-6.4.G(1)(u) DESIGNATED TREE PROTECTION ZONE [UPDATED SECTION 6.4.G.(1)(u)]

No.	Revision	Date
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2	No Changes this Sheet	11/4/2021
1	Planning Board & Engineering Comments	7/26/2021

DETAIL SHEET

Seal: PETER J. OREN, CIVIL ENGINEER, No. 27145, REGISTERED PROFESSIONAL ENGINEER

Hayes

0' 20' 40' 80' 120'

MODIFICATION PLAN VALLIS WAY LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS, 109 LOWELL STREET, LYNNFIELD, MA 01940
APPLICANT: PAUL CAGGIANO, 26666 SEAGUL WAY, UNIT C201, MALIBU, CA 90265-4529

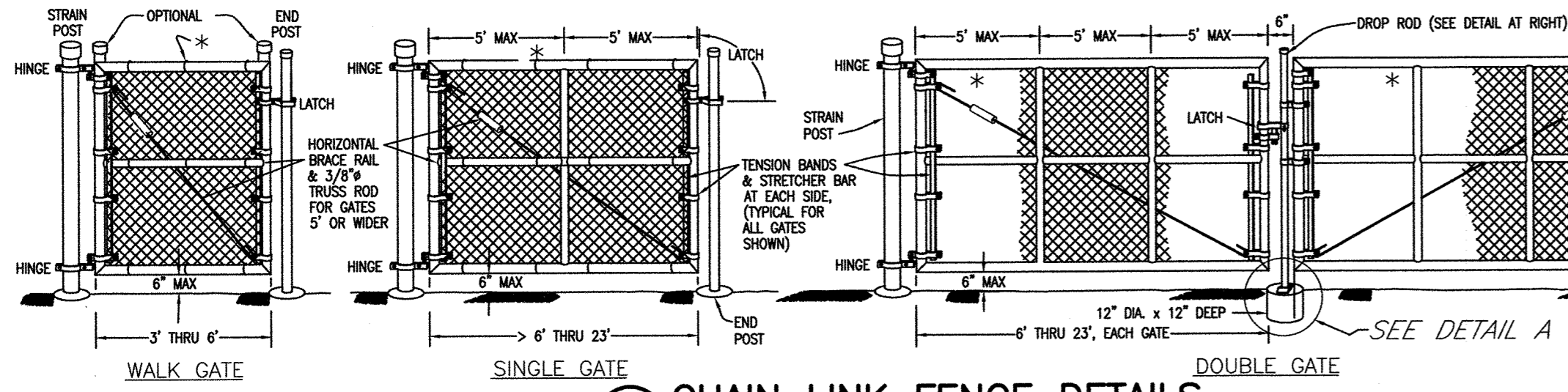
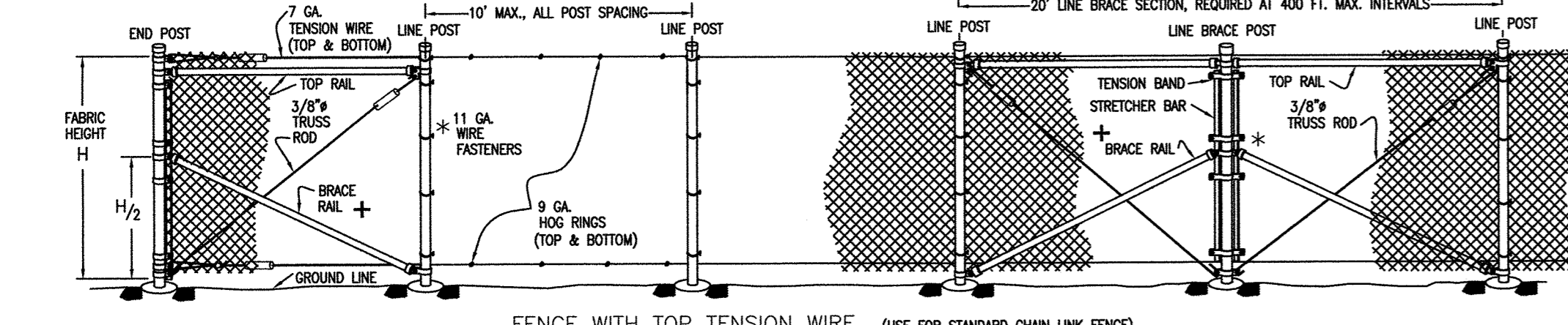
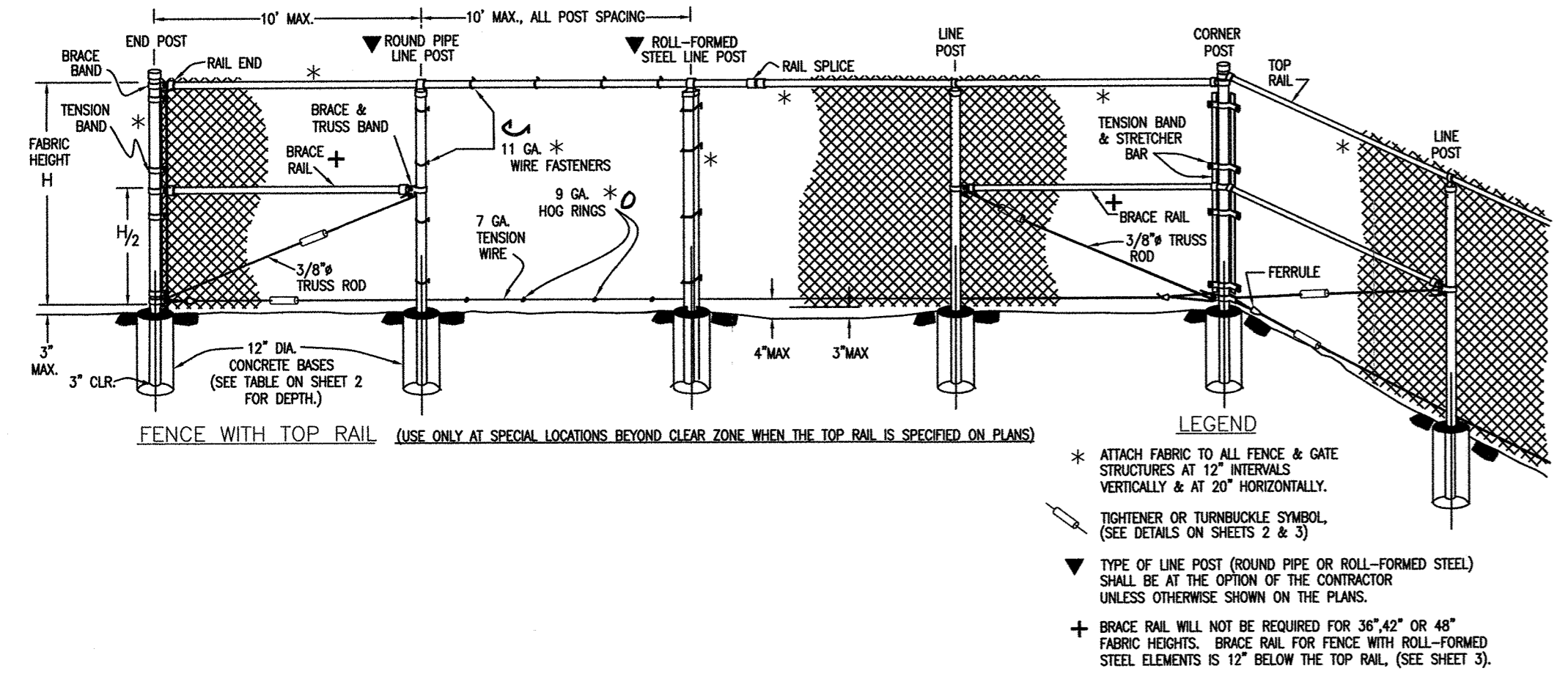
Engineer: Hayes Engineering, Inc., 603 Salem Street, Wakefield, Mass. 01880, www.hoyeseng.com

Scale: 1"=40'
April 12, 2021

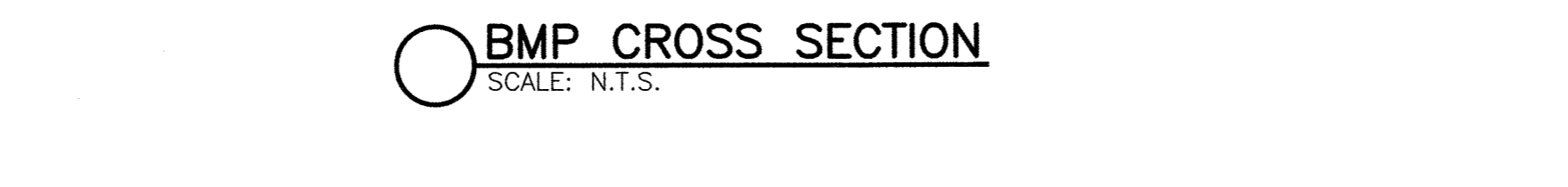
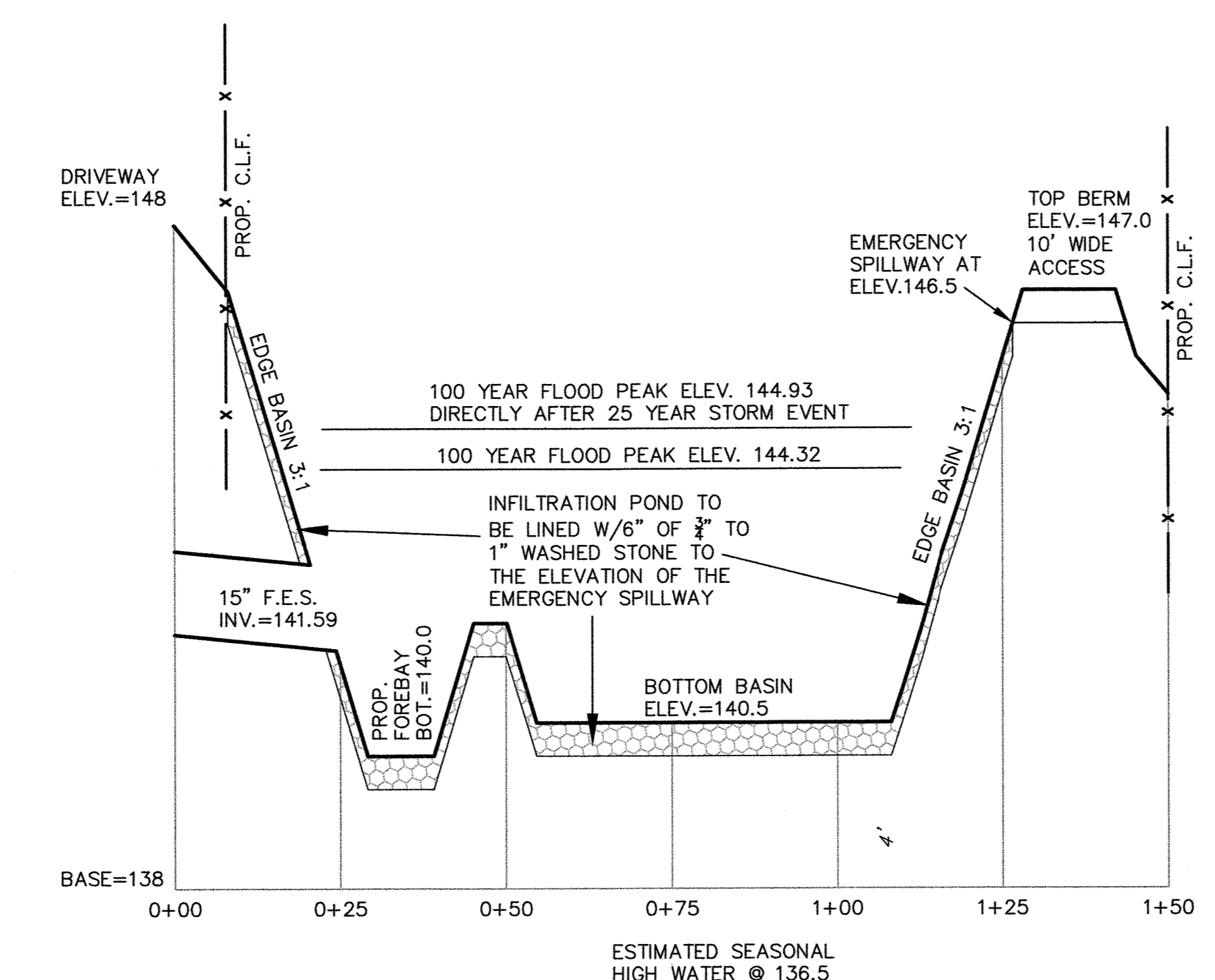
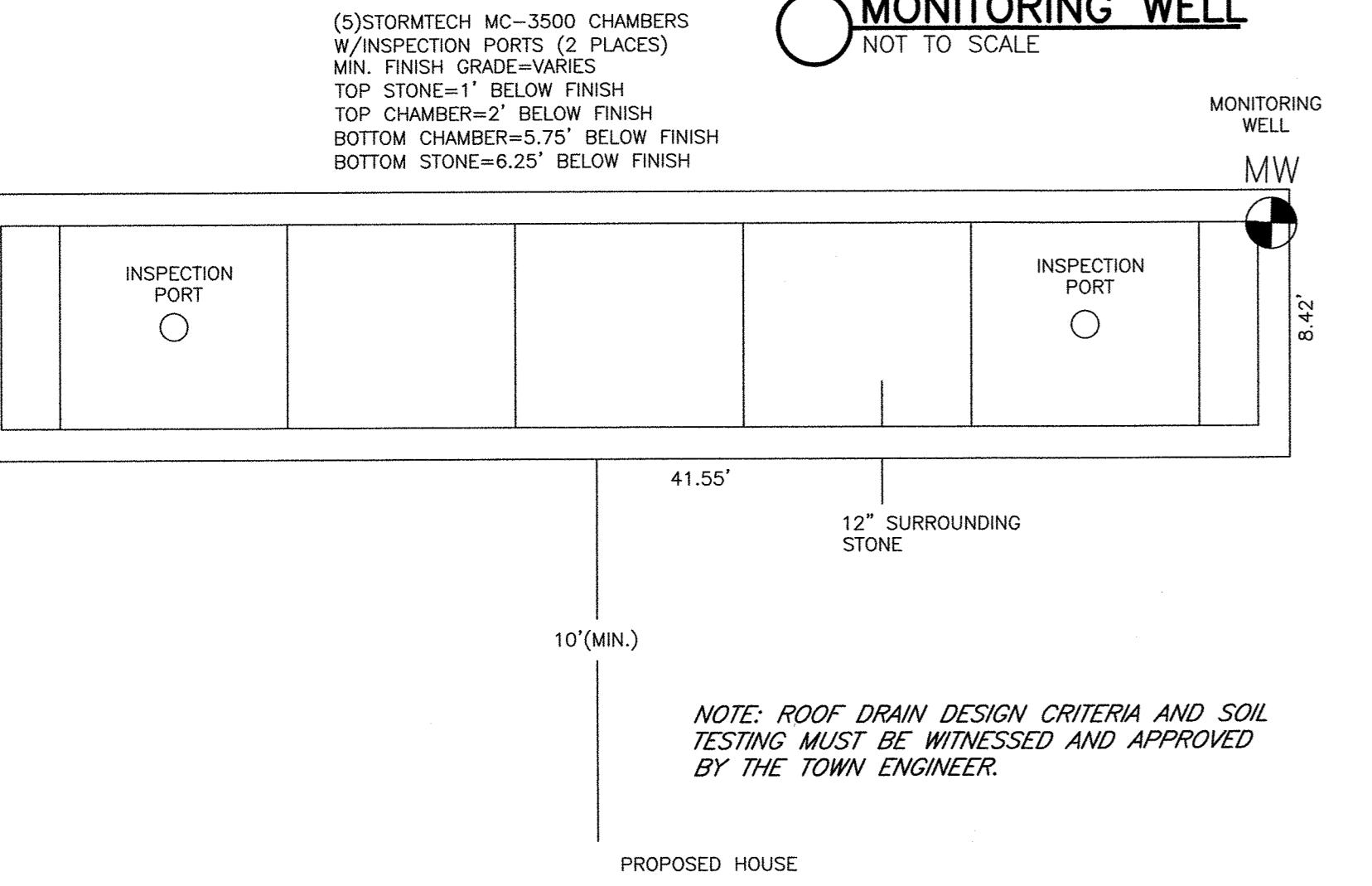
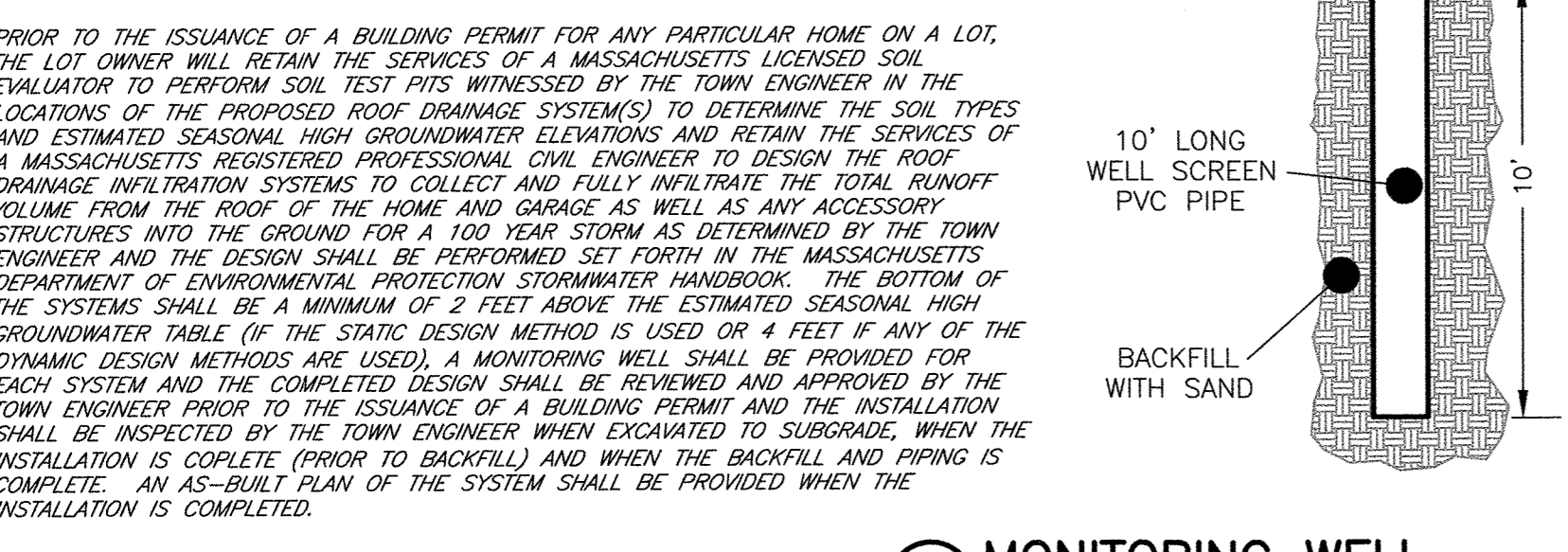
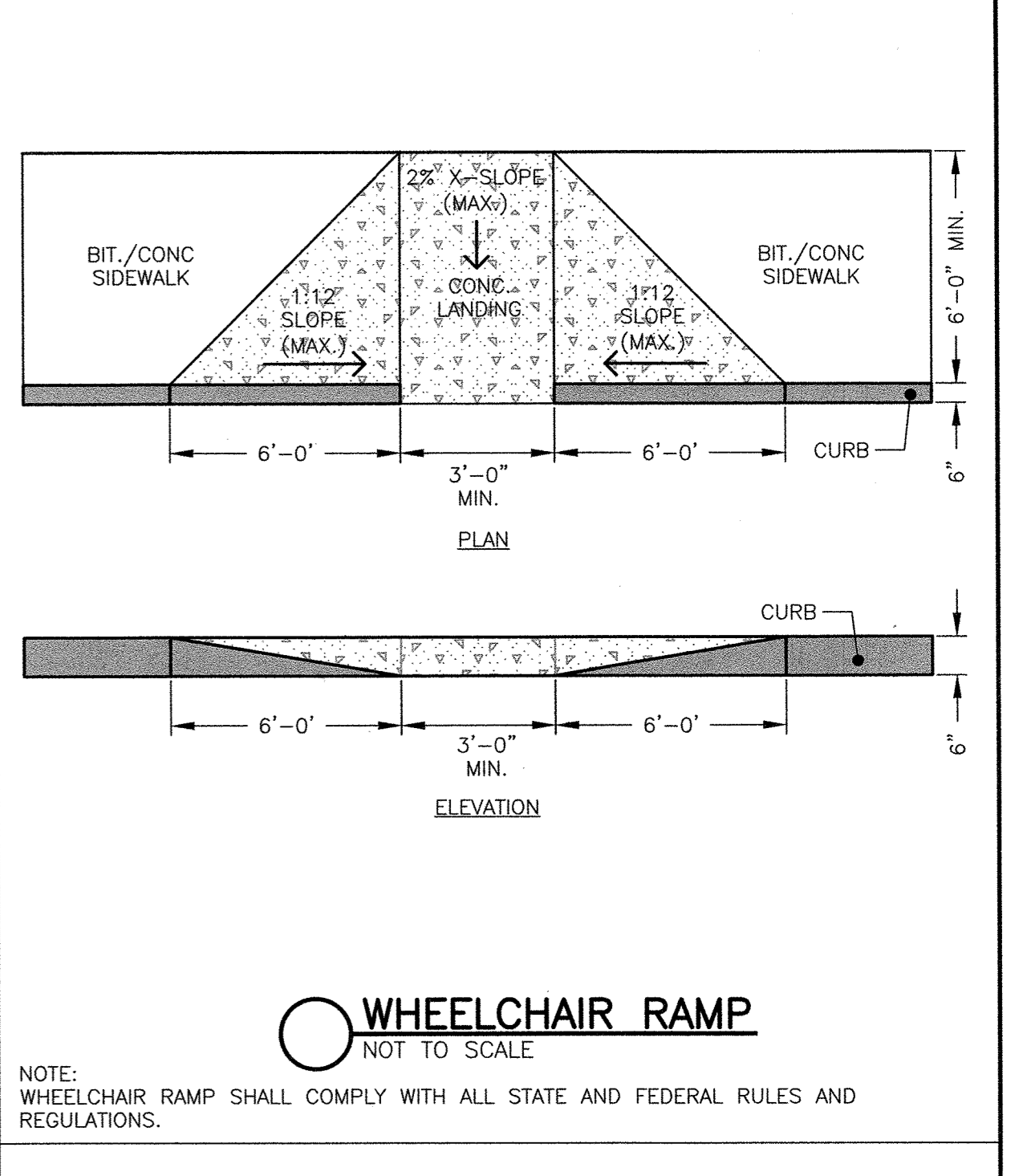
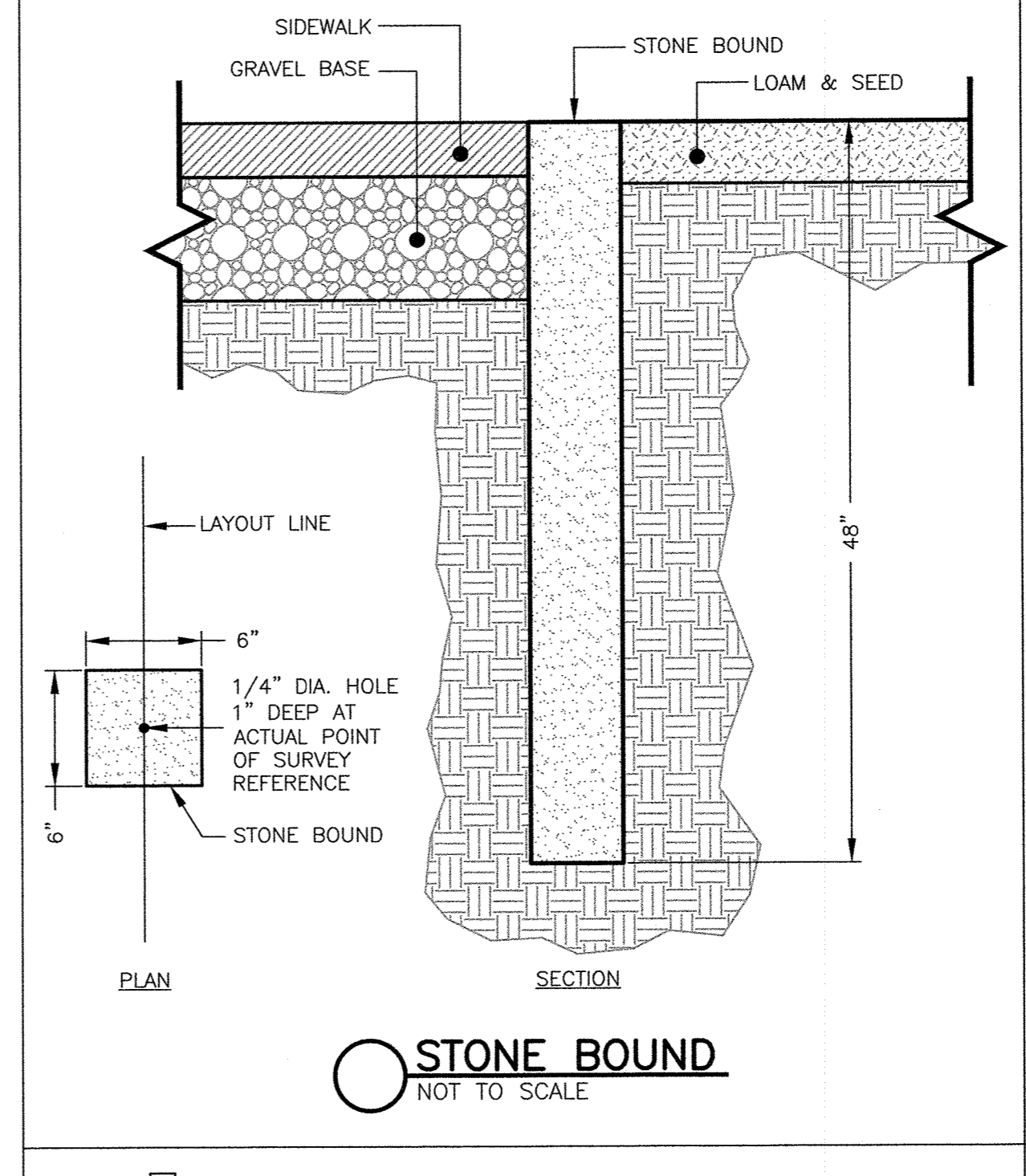
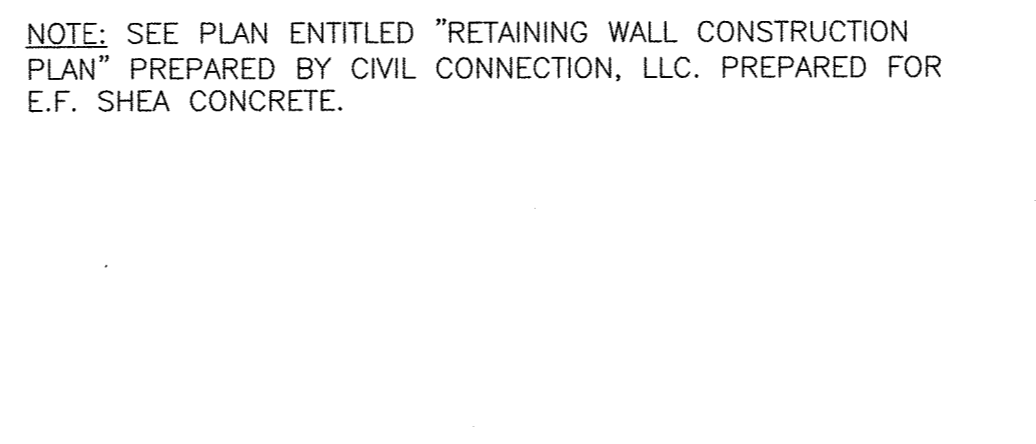
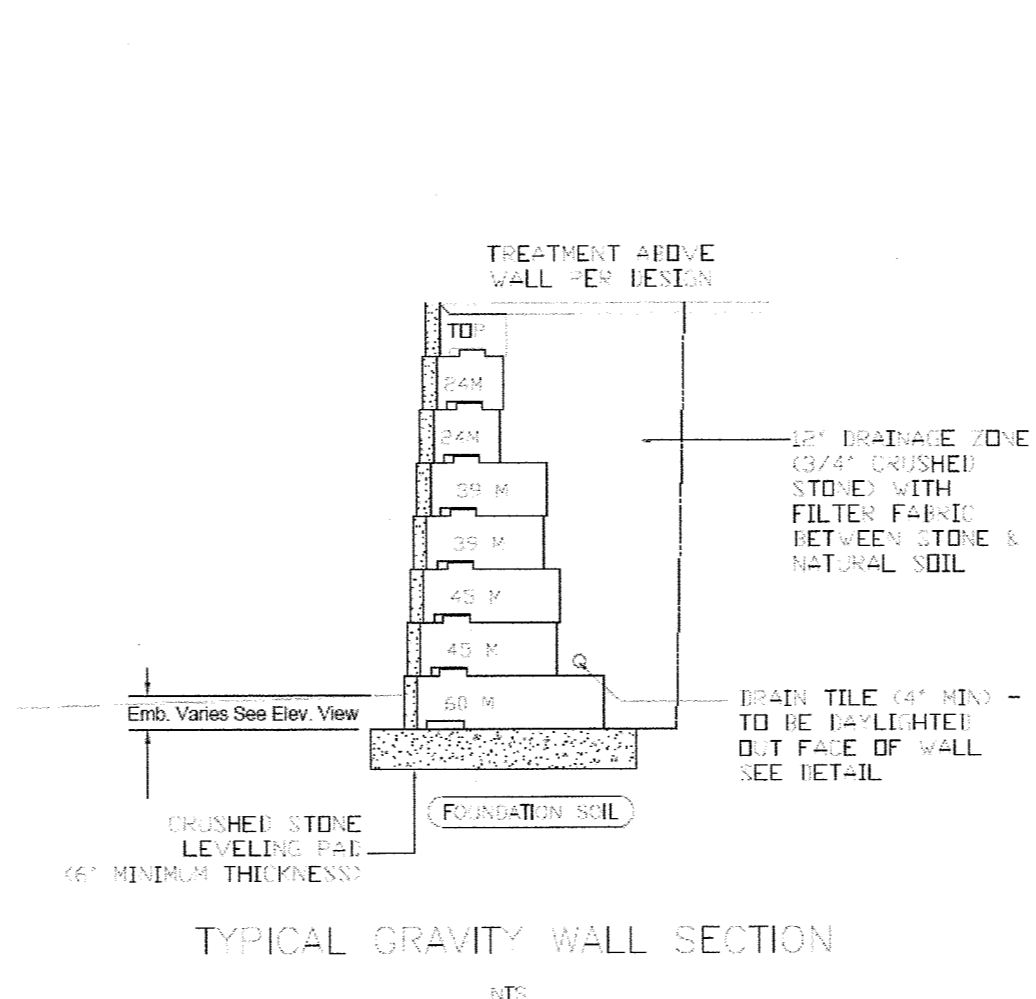
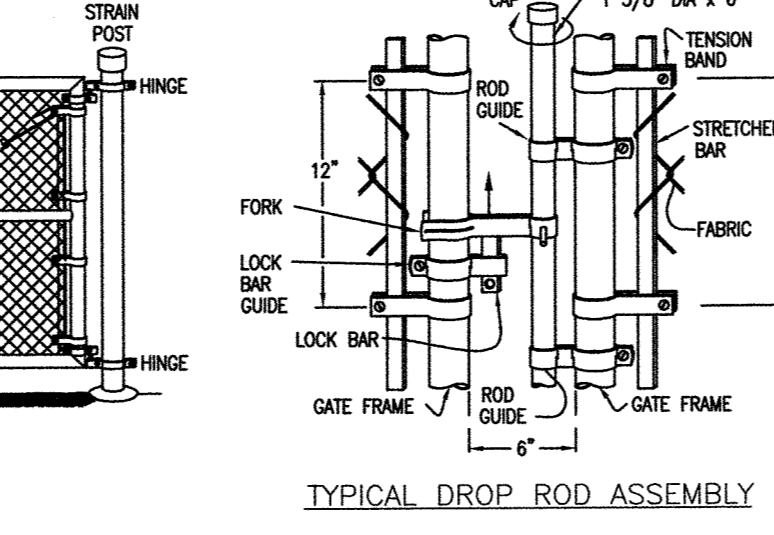
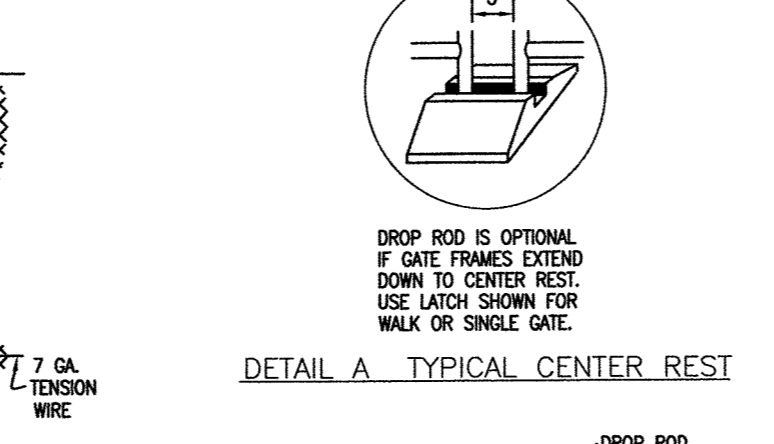
LYNNFIELD PLANNING BOARD

Application Filed: _____
Final Plan Filed: _____
Hearing Date: _____
Plan Approved: _____
Plan Signed: _____

DETAIL SHEET 2 OF 3
SET SHEET 9 OF 10



- GENERAL NOTES**
- H (HEIGHT OF FABRIC) SHALL BE AS SHOWN ON THE PLANS. FABRIC IS AVAILABLE IN THE FOLLOWING HEIGHTS: 36", 42", 48", 60", 72", 84", 96", 108", 120" AND 144".
 - CHAIN LINK FABRIC SHALL CONFORM TO THE REQUIREMENTS OF ASHTO M 181.
 - CHAIN LINK FABRIC SHALL BE 2" MESH NO. 9 GALVANIZED OR ALUMINUM COATED WIRE SECURELY FASTENED TO TENSION WIRE. LINE POSTS, RAILS, BRACES AND STRETCHER BARS SPACED AS SHOWN HEREON. WIRE FASTENERS AND THE CLIPS SHALL BE NO. 11 GAGE (B&S) GALVANIZED STEEL WIRE OR NO. 7 GAGE (B&S) ALUMINUM WIRE, AND HOG RINGS SHALL BE NO. 9 GAGE, ALL IN CONFORMANCE WITH ASTM F 628.
 - STEEL POSTS, RAILS AND GATE FRAMES SHALL CONFORM TO ASHTO M 181 TYPE 1, GRADE 1 OR GRADE 2.
 - AT THE CONTRACTOR'S OPTION, PIPE USED FOR FENCE CONSTRUCTION SHALL CONFORM TO THE DIMENSIONS AND HEIGHTS FOR EITHER "ORDINARY PIPE" OR "ALTERNATIVE PIPE". "ALTERNATIVE PIPE" SHALL BE HIGH STRENGTH STEEL PIPE MEETING THE REQUIREMENTS OF FED. SPEC. RR-F-191/30.
 - TENSION WIRE SHALL BE CONTINUOUS BETWEEN END OR CORNER POST AND LINE BRACE POST. A TURNBUCKLE OR OTHER APPROVED TIGHTENING DEVICE SHALL BE USED FOR EACH CONTINUOUS SPAN OF TENSION WIRE.
 - TENSION WIRE SHALL BE AS SPECIFIED IN ASHTO M 181.
 - CONCRETE FOOTINGS SHALL HAVE TOPS FINISHED AT GROUND LEVEL AND SHALL BE CLASS B. CONCRETE WITH LIGHTWEIGHT AGGREGATE CONFORMING TO ASHTO M 195, WILL BE PERMITTED.
 - TERMINATION OF FENCE AT BRIDGES OR OTHER STRUCTURES SHALL BE AS SHOWN ON PLANS.
 - CHAIN LINK FABRIC UP TO 5 FEET HIGH SHALL BE KNUCKLED AT THE TOP AND BOTTOM SOLVAGES. FABRIC OVER 5 FEET HIGH SHALL BE TWISTED AND BARBED ON THE TOP SOLVAGE AND KNUCKLED ON THE BOTTOM SOLVAGE.
 - FENCE MAY BE CONSTRUCTED WITH EITHER ROUND PIPE OR ROLL-FORMED STEEL COMPONENTS. THE CONTRACTOR SHALL STATE THE TYPE OF CONSTRUCTION AND TYPE OF LINE POST TO BE USED THROUGHOUT THE PROJECT, AT THE PRECONSTRUCTION CONFERENCE.



I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

Hayes
HAYES ENGINEERING, INC.

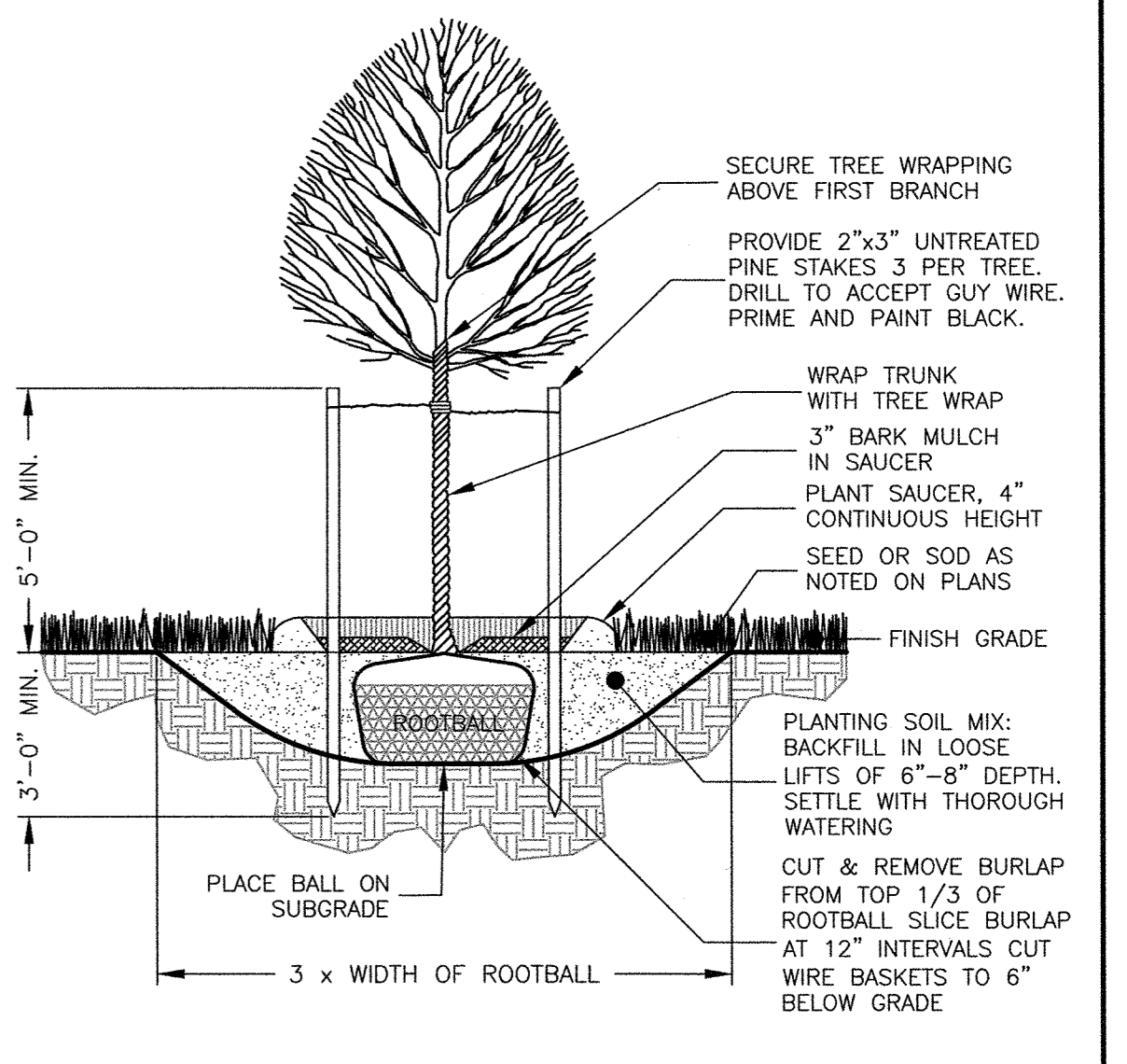
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6	Minor Modification/Waiver Update	11/15/2023
5	Town Comments	11/15/2022
4	Town Comments	10/17/2022
3	Review Comments	11/30/2021
2	No Changes this Sheet	11/4/2021
1	Planning Board & Engineering Comments	7/26/2021



NOTE: TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT DID TO NURSERY OR FIELD GRADE.

DETAIL SHEET

Seal of the State of Massachusetts
PETER J. GUREN
CIVIL ENGINEER
No. 27145
REGISTERED PROFESSIONAL ENGINEER

Hayes

0' 20' 40' 80' 120'

MODIFICATION PLAN
VALIS WAY
LYNNFIELD, MASS.
ASSESSORS MAP 17 LOT 921

OWNER: LINDA C. VALLIS
109 LOWELL STREET
LYNNFIELD, MA 01940

APPLICANT: PAUL CAGGIANO
26666 SEAGUL WAY, UNIT C201
MALIBU, CA 90265-4529

Engineer: Hayes Engineering, Inc.
603 Salem Street
Wakefield, Mass. 01980
www.hayeseng.com

Scale: 1"=40'
April 12, 2021

LYNNFIELD PLANNING BOARD

Application Filed: _____
Final Plan Filed: _____
Hearing Date: _____
Plan Approved: _____
Plan Signed: _____

DETAIL SHEET 3 OF 3
SET SHEET 10 OF 10